

# LAKE LOUISE

BANFF NATIONAL PARK OF CANADA

## *Community Plan Implementation Guidelines*

*February 2003*



*Également offert en français*





View of Lake Louise and Mt. Victoria. Date Unknown  
Whyte Museum of the Canadian Rockies - V263/NA 71-4985. Photograph by: Byron Hammon



In the heart of the Canadian Rockies, Lake Louise is an important international symbol of Canada and the national park system. Because of its remarkable combination of natural features, stunning scenery, important railway and mountaineering history, as well as its outstanding trail system, Lake Louise is a primary destination for many visitors to Banff National Park.

Like all national parks, Banff is dedicated to preserving a special part of Canada's natural and cultural heritage for the benefit, education and enjoyment of present and future generations. One of the biggest challenges for national parks is to state clearly the direction they intend to take in the management of development, growth, and use. A direction that will help ensure facilities and services like hotels, stores, residences, roads, and trails do not undermine a park's ecological integrity or its cultural resources.

Banff National Park's management plan describes how Parks Canada intends to safeguard the park's natural and cultural features and, at the same time, meet the needs of visitors, residents, and Canadians. The plan sets out a basic direction for Lake Louise. In 1997, Parks Canada and the Lake Louise Advisory Board began working together on a **Community Plan** and supporting Implementation Guidelines to carry out that direction. The result of this collaboration is a tool that will help Parks Canada and the community make decisions that are consistent with the vision of the community, the park, and the management plan. Specific design parameters and limits to growth will ensure Lake Louise and the park remain healthy - environmentally, socially and economically.

#### NOTE:

To make it easier for those who need to use these two documents, the direction outlined in the *Community Plan* has been repeated in this document. *Community Plan* direction has been highlighted in blue throughout.

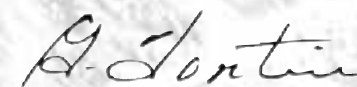
Public input has played an important role in shaping the **Community Plan**. Ideas from open houses, and from meetings with community representatives and stakeholders, all contributed to the **Community Plan**. While consultation showed general support for the proposed principles, the definitions of basic and essential services, and the need to address housing issues, some people expressed concern about more commercial growth. To respond to this concern, the Federal Government through the Minister of Canadian Heritage provided additional direction on community plans. The principles, objectives, and actions in this document reflect that direction.

Clearly development pressures still exist. To address this issue the **Community Plan** was completed and approved by the Minister in June 2001. The **Community Plan** outlines major strategies, growth limitations, and actions to ensure a healthy community and park. To help achieve the direction in the **Community Plan**, these Implementation Guidelines provide additional background information, detailed design guidelines and site parameters. Supporting land use directives will be developed. The role of these three documents is to govern development and use in Lake Louise and to guide change in a way that respects the national park mandate. While there are limits to commercial development, allowing some growth offers an opportunity to make site specific ecological improvements, provide better protection of cultural resources, or improve the character of development to better reflect national park values.

The **Community Plan** and Implementation Guidelines are part of a sensitive and integrated growth management strategy that began with the management plan. Transportation planning, ski area guidelines, and human use strategies for the area will provide additional direction.

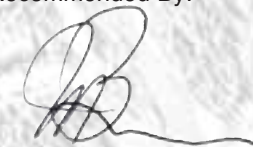
In the past, Parks Canada relied on management plans, traditional community plans, zoning, and development guidelines when making decisions. Our intentions were good, but the results were not always what we wanted. The **Community Plan** and *Implementation Guidelines* represent a departure from previous approaches. They describe a vision of development that will be the basis for all future decisions. They define acceptable development - its type, extent, location, appearance, and density. They examine the responsibilities of the Hamlet, Upper Lake Louise, and the park in maintaining ecological integrity. They recognize the importance of our cultural heritage and identify measures that will protect the character of Lake Louise. And, finally, they describe a framework for deciding what facilities and services are essential for visitors to have a positive national park experience. We believe that by applying the principles in these documents, Lake Louise will continue to be a living example of park values and an important national symbol.

Implementation Guidelines Approval:



Gaby Fortin  
Director General, Western and Northern Canada  
Parks Canada

Recommended By:



Michel Boivin  
Superintendent,  
Lake Louise, Kootenay, Yoho National Parks

## FOREWORD





# ACKNOWLEDGEMENTS

The preparation of this document involved many people. There were many challenging, complex and emotional issues that needed to be addressed. Their input has resulted in helping shape these guidelines. A special note of thanks is extended to those who volunteered their time. The following deserve special mention:

- Representatives of the Lake Louise Advisory Board spent many countless hours providing input, discussing and communicating issues to community members and reviewing this document as it took shape. The community of Lake Louise is fortunate to have such dedicated people representing them.

Thanks to:  
David Bayne                      Alan McRoberts  
Larry Hoskin                    Jack Pedersen  
Ben Marriott                    Charlie Wake

- A number of environmental groups, concerned citizens and residents care deeply about Lake Louise, the quality of life and the environmental health of the area. Their concerns have been carefully considered and where appropriate have been addressed in the **Community Plan** and these guidelines. Thanks to all for taking the time to provide comments.

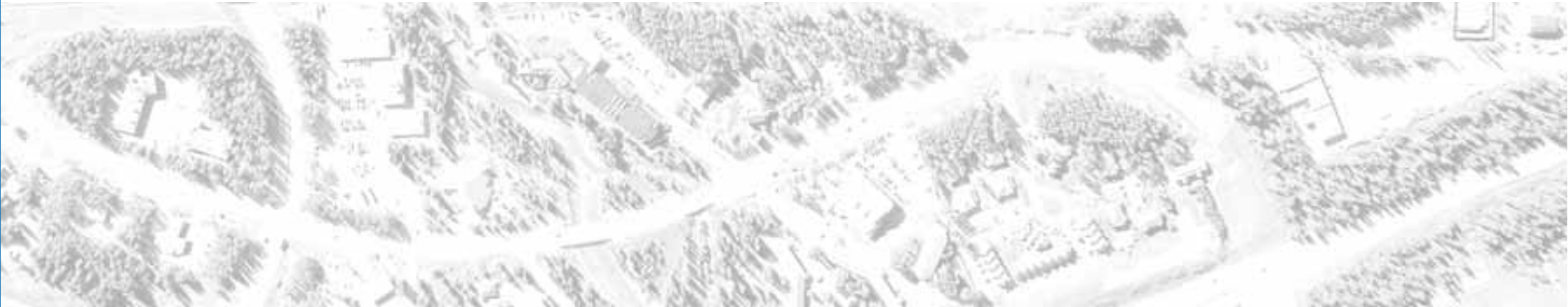
- The consulting firm of OLSON + OLSON Planning and Design have been retained to prepare the **Community Plan** and these guidelines. In doing so they have put in many extra hours to consult with community members and seek ways to adapt the concept to meet their needs while ensuring the integrity of the plan. As subcontractors to Olson + Olson, the firm of Marshall + Associates has also contributed.

Thanks to:  
Doug Olson                      Bobbie Olson  
Mark Crisp                      Bill Marshall  
Jackie Hoffer                    Rado Ivanov

- Thanks also to Colleen McClusky for editing the document and helping translate the concepts so that they are more easily understood and to Bob Sandford for his efforts in defining basic and essential services and developing the heritage tourism section. Both went well beyond what was expected.

- Behind the scenes there are many Parks Canada staff that have contributed to the preparation of this document. A few of them have in particular played important roles. Whenever they’ve been asked they’ve gone the extra distance when it was really needed.

Thanks to:  
Caroline Marion                      Rob Layton  
Pat Buchik                            Bruce Leeson  
Don Huisman                        Steve Whittingham





COMMUNITY PLAN HIGHLIGHTS

In the spring of 1998, the Minister of Canadian Heritage announced further steps to preserve the ecological integrity of Canada’s national parks. In March 2000, the Panel on the *Ecological Integrity of Canada’s National Parks* released its recommendations. In June 2001, the Minister approved the **Lake Louise Community Plan**. The following section highlights aspects of the **Community Plan** that supports the Minister’s direction and how the plan responds to the Panel’s recommendations.

No Net Negative Environmental Impact & Leadership in Environmental Stewardship

All national park community plans will adopt the principle of no net negative environmental impact. Lake Louise will take the following actions to ensure ecological integrity:

- establish a framework to monitor the impact of the community on the park
- reduce the Hamlet boundary by removing approximately 49 ha (37%) from the community
- rehabilitate disturbed lands to improve habitat for small mammals and birds and reinforce the Hamlet’s link to its national park setting; introduce a program to protect and rehabilitate adjacent lands; in total more than forty hectares will be rehabilitated
- protect the Fairview and Whitehorn wildlife corridors
- prepare human use strategies for areas outside the community
- undertake stewardship initiatives such as sewage treatment upgrades, expanded recycling, energy, and water conservation programs

Appropriate Use Guidelines

New business applications and development proposals will only be considered if it can be demonstrated that they are appropriate to the national park community and its setting in a national park. Community plans will outline basic and essential services and principles for assessing appropriateness.

Business operators and Parks Canada will foster an appreciation of the park’s environment and cultural heritage by:

- adopting a heritage tourism strategy
- adding a major interpretation component to the Visitor

Reception Centre that focuses on ecological integrity and cultural resources

- installing more interpretive signs
- offering programs to make visitors and staff more aware of their role in protecting the park
- adopting a new business license approval process
- defining basic and essential services that support heritage tourism

Responsible Growth Management

The new Canada National Parks Act requires that boundaries for all park communities be legislated and that commercial zones and maximum commercial floor space be established. All community plans will include an annual growth rate for commercial development.

Parks Canada will respect existing growth commitments and is prepared to consider a limited amount of new low density growth if it results in improvements to the immediate natural environment, protects important cultural resources, or enhances the character of an operation and does not negatively impact the ecological health of the park. This growth, if carefully managed, can make an important contribution towards ensuring a healthy park and better visitor experience.

The community plan’s growth management strategy will:

- respect existing commitments for the development of the Chateau Lake Louise Meeting Facility, expansion of the Hostel and Train Station restaurant, etc., for a total of 15,606 m², 67 guest rooms and 154 overnight guests
- allow an additional increase of existing commercial accommodation operations for a total of 3,660 m², 58 guest rooms and 148 overnight guests
- phase commercial growth over a minimum of ten years
- prohibit new commercial accommodation operations
- allow commercial development to take place only after improvements at the waste water treatment plant have been made to reduce phosphorus content in the Bow River
- allow commercial accommodation to increase from 2,398 visitors/night to 2,700 visitors/night
- reduce the ceiling on overnight visitors to 2,700
- identify a residential ceiling of approximately 2,200 residents

- ensure infrastructure can support growth
- support improved recreational and social services for the community; replace the existing community centre with a larger multi-purpose facility
- limit retail expansion to existing commitments. These will support the delivery of basic and essential services.

Built Heritage

Community plans must address the preservation of priority heritage buildings and ensure that new development is compatible in design and quality with existing neighbourhoods.

The following actions will safeguard the area’s cultural resources:

- require development proposals to include strategies for protecting important built heritage resources
- enforce architectural, landscape, transportation, parking, sign, and lighting guidelines

Need-to-Reside

Community plans must identify ways to eliminate the shortfall in residential housing in all park communities by 2005. This will involve enforcing the need-to-reside policy and building housing before, or at the same time as commercial development.

The community plan addresses ways to provide residential housing for:

- 155 staff who are currently without accommodation
- 50 staff who live in poor and crowded conditions
- 130 staff required as a result of limited commercial and institutional growth

COMMUNITY PLAN HIGHLIGHTS



USING THESE GUIDELINES

This document is intended for anyone who plans to submit a development proposal or submit a business application. Its plans, drawings, and diagrams reflect the characteristics, look and feel that the park and the community are trying to achieve. While there is some flexibility, proposals that vary too much from the intent of the drawings in this document will not be approved.

The principles and parameters outlined in these guidelines apply to all proposals for development and use, including Parks Canada’s activities.

To make these documents easier to use, the content in the *Community Plan* has been repeated in these *Guidelines*. This information is highlighted in blue or shadowed white text throughout this document. Content that is not highlighted represents additional information/direction.

The *Implementation Guidelines* consist of seven parts.

Part I	Introduction
Part II	Resource Protection
Part III	Visitor and Community Services
Part IV	Site Maps

These maps and drawings illustrate specific improvements for each location and are intended to help readers picture what the community could look like. These maps translate many of the strategies presented in Parts II, III and V into specific actions for individual areas.

Separate *Land Use Directives* will provide detailed requirements for individual sites and buildings.

Part V	Stewardship and Management
Parts II, III & V set out the principles and objectives that will guide decision-making, as well as actions to achieve the vision for the community.	
Part VI	Cumulative and Environmental Effects
Part VII	Glossary
	Recommended Plant Species

TABLE OF CONTENTS

I INTRODUCTION

Location & Setting	.2
A Vision for Banff National Park	.3
Objectives	.3
Context	.3
Scope	.4
Related Initiatives	.4
Limits to Growth	.4
Public Consultation	.4

II RESOURCE PROTECTION

A Place for Nature	.6
Policy, Management Plan and Ministerial Direction	.6
Background	.6
Objectives	.8
Guiding Principle	.8
Actions	.8
A Place of Historical and Cultural Significance	.10
A Look at the Past	.10
Background	.11
Cultural Resource Zones	.12
Objectives	.13
Guiding Principles	.13
Actions	.13
Community Character	.14
Management Plan Direction	.14
Background	.14
Objectives	.16
Guiding Principles	.16
Actions	.16

III VISITOR AND COMMUNITY SERVICES

A Place for People	.34
Management Plan and Ministerial Direction	.34
Background	.34
Objectives	.34
Guiding Principles	.34
Actions	.34
Heritage Tourism	.34
Appropriate Development & Basic and Essential Services	.37
Commercial Accommodation	.38
Commercial Retail/Restaurant/Meeting Space	.39

A Place for Community	.40
Management Plan and Ministerial Direction	.40
Background	.40
Objectives	.40
Guiding Principles	.40
Actions	.41
Residential Growth	.41
Appropriate Services	.42

IV AREA CONCEPTS: SITE SPECIFIC STRATEGIES FOR ACHIEVING THE VISION

Lower Lake Louise - Overall Site Plan	.44
Upper Lake Louise - Overall Site Plan	.46
Site Specific Plans:	
Village Entrance	.48
Samson Mall	.50
Pipestone	.54
Lake Louise Inn	.58
Post Hotel Area	.60
Hostel	.64
Saddleback	.66
Village Road/Moraine Circle	.68
Trades Complex/Maintenance Compound	.72
Petro Canada/RCMP	.74
Mountaineer Lodge	.76
Charleston	.78
Community Centre	.82
Temple Housing	.86
Fairview Lane Housing	.88
Pinnacle Housing	.90
East Railway Area	.92
West Railway Area	.94
Harry’s Hill	.96
Campground/Trailer Court	.98
Paradise Bungalows	.100
Deer Lodge	.102
Chateau Lake Louise	.106
Chateau Staff Housing	.112
Upper Louise Parking	.114

V STEWARDSHIP AND MANAGEMENT

A Place For Environmental Stewardship	.118
Policy Direction	.118
Background	.118
Objectives	.119
Guiding Principles	.119

Actions	.119
Sewage Treatment	.119
Water Quality	.119
Water Conservation	.119
Energy	.119
Air Quality	.120
Solid Waste	.120
Hazardous Waste and Contaminated Sites	.120
Purchasing	.120
Education	.120

Managing Growth	.121
Policy Direction	.121
Background	.121
Objectives	.121
Guiding Principles	.121
Actions	.121
Commercial Growth	.121
Services for Residents	.121
Residential Census	.121
Development Review	.122
Leases	.122
Funding	.122
Offsite Contribution	.122
Plan Review	.122
Non Conforming Use	.122
Priorities for Implementation	.122

VI CUMULATIVE AND ENVIRONMENTAL EFFECTS

Cumulative Impacts	.124
Consistency	.124
Issues of Concern	.124
No Net Negative Environmental Impact Framework & Growth Management	.126
Public Concern	.126
Conclusion	.126

VII GLOSSARY .128

RECOMMENDED PLANT SPECIES LIST .129

LIST OF TABLES

Table 1: Commercial Development Growth Limits	.39
Table 2: Residential Growth	.41
Table 3: Institutional and Industrial Growth	.42





# PART 1

## INTRODUCTION

- Location & Setting
- A Vision for Banff National Park
- Objectives
- Context
- Scope
- Related Initiatives
- Limits to Growth
- Public Consultation



# LOCATION & SETTING

The Bow Valley in Banff National Park is an area of stunning scenery and critical environmental importance. For the most part, development in the valley is concentrated in the Hamlet of Lake Louise and the Town of Banff, 56 km to the south. The community of Field is located 26 km to the west. The Hamlet is bisected by the CPR.

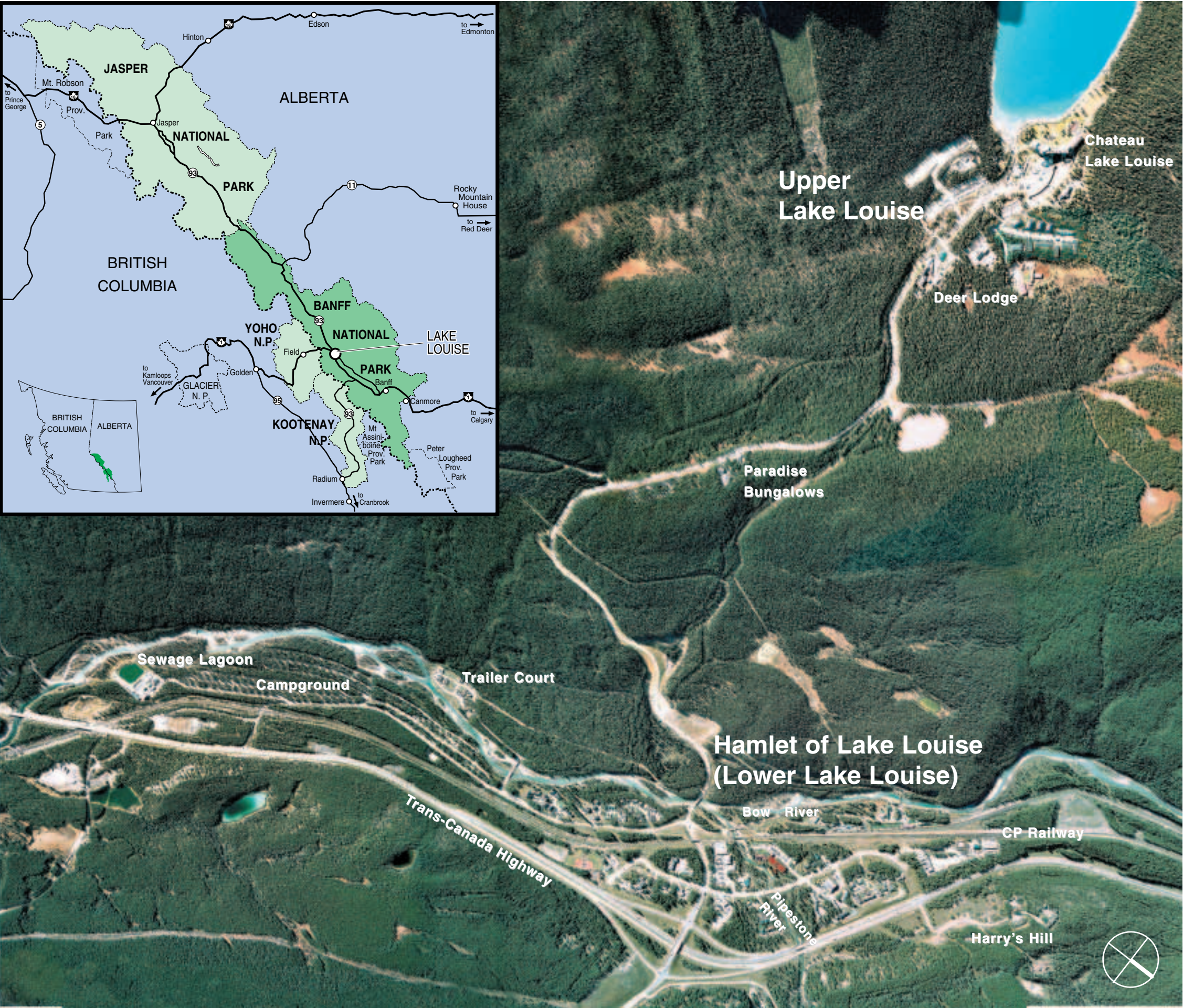
Lake Louise has two distinct areas - Upper Lake Louise and the Hamlet of Lake Louise.

## Upper Lake Louise

Set against the impressive backdrop of the Victoria Glacier, this is an area of towering peaks, spruce and fir forests, alpine meadows and, of course, the lake itself. Located at the base of the Plain of Six Glaciers, Lake Louise is one of the most photographed sites in the country, if not the world. The world famous Chateau Lake Louise dominates the lake's eastern shore. Other development in the immediate area includes Deer Lodge and Paradise Bungalows.

## The Hamlet (Lower Lake Louise)

Along the banks of the scenic Bow and Pipestone Rivers, the Hamlet of Lake Louise is the gateway for visitors to the region. The community is bounded on the east by the Trans-Canada, on the west by the Bow River, and divided in two by the railway. About 60% of this 131 hectare area is developed or heavily disturbed. Visitor services include accommodation, restaurants, service stations, and supplies.





# A VISION FOR BANFF NATIONAL PARK

The 1997 *Banff National Park Management Plan* represented a major milestone for the park. Based on many of the recommendations in the Bow Valley Study, it was prepared in consultation with the public locally, regionally and nationally. The plan outlines a vision for the park. The **Lake Louise Community Plan** and *Implementation Guidelines* respond to this vision:

*"Banff National Park reveals the majesty and wildness of the Rocky Mountains. It is a symbol of Canada, a place of great beauty, where nature is able to flourish and evolve. People from around the world participate in the life of the park, finding inspiration, enjoyment, livelihood and understanding. Through their wisdom and foresight in protecting this small part of the planet, Canadians demonstrate leadership in forging healthy relationships between people and nature. Banff National Park is, above all else, a place of wonder, where the richness of life is respected and celebrated.*

## Key Themes

*The park is a living example of the way in which nature is protected while appropriate kinds and levels of human activity are welcomed.*

*Natural systems and their component native species are free to function and evolve. The park supports and is supported by the natural systems of the regions around it.*

*The park is available to all Canadians and international guests who wish to participate in a diverse range of appropriate activities. They treat the park with respect. The quality of the natural environment is fundamental to the visitor experience, which is enriched by the quality of services provided.*

*Understanding the value of our national parks is a part of being Canadian. Education and awareness about national park values, ethics, natural and cultural heritage and services are provided both within and beyond the boundaries of the park. Introduction to this knowledge is a fundamental part of each visitor's experiences.*

*A healthy economic climate, based on the heritage values of the park, contributes to national, provincial and local economies. Appropriate businesses evolve and operate along aesthetically pleasing and environmentally responsible lines. Innovative ideas, designs and technology are emphasized when providing services, including education, transportation, waste management, and other infrastructure.*

*Federal, provincial and municipal authorities cooperate in protecting and managing the national park and regional ecosystem. To achieve this, they nurture cooperation with businesses and organizations for open, accountable, and responsible decision making. Principles of precaution are exercised when the effects on the ecosystem are uncertain.*

*Laws and regulations affecting the economy and the environment are consistent and predictable. Enforcement of regulations is consistent.*

*Park communities are healthy and are leaders in environmental and cultural resource stewardship. Residents are hospitable and pride themselves in accepting their responsibility for protecting and sharing this natural and cultural heritage for the benefit of present and future generations."*

## OBJECTIVES

The objectives of the **Community Plan** and *Implementation Guidelines* are to:

1. Develop a clear vision of the future and provide a 'blueprint' for implementing the direction of the *1997 Banff National Park Management Plan* in Lake Louise.
2. Set limits to growth as well as parameters for development and services in order to ensure a service centre that is ecologically, socially and economically healthy for visitors and residents.
3. Provide a strategy that:
  - reflects Lake Louise's contribution to national park values
  - safeguards the ecological and cultural resources that make the park an internationally recognized special place
  - meets the needs of Canadians, visitors, residents, and businesses
  - allows both the private and public sectors to contribute to the creation of an attractive and functional environment
4. Provide a tool that helps managers make timely decisions about development, redevelopment and activities.

## CONTEXT

For almost two decades, the *Lake Louise Management Plan*, *Development Guidelines*, and the *Banff National Park Management Plan* have guided development and use in the Hamlet and Upper Lake Louise.

1979	The <i>Lake Louise Management Plan</i> (Action Plan) set out a low-growth scenario that capped the number of guests in commercial accommodation.
1981	Parks Canada published development guidelines for the Hamlet based on the <i>Lake Louise Management Plan</i> .
1988	The <i>Banff National Park Management Plan</i> endorsed these documents and provided further direction for Lake Louise.
1994	Parks Canada's <i>Guiding Principles and Operational Policies</i> outline the foundation for managing national parks.
1997	Parks Canada updated the <i>Banff National Park Management Plan</i> , based on the results of the Bow Valley Study. The new plan provides clear direction concerning Lake Louise and now provides the framework for managing the community.
1998	The Minister announces a <i>Policy Framework</i> for preparing community plans.
2001	The <b>Lake Louise Community Plan</b> is approved providing specific direction for managing growth, use and development.

### NOTE:

The **Community Plan** and *Implementation Guidelines* do not identify costs or detailed implementation time frames. Rather, their intent is to 'paint' a picture of the community if all 'things came to pass'. Over time, as businesses, residents, the community and Parks Canada improve facilities and services, these documents will ensure that initiatives contribute to the vision for the park and the community.



# SCOPE

The **Community Plan** and *Implementation Guidelines* applies to all areas in the Hamlet of Lake Louise and to major commercial operations in Upper Lake Louise with potential for development. This includes the Chateau Lake Louise, Deer Lodge, and Paradise Bungalows. The **Community Plan** and *Implementation Guidelines* do not apply to Skiing Louise’s facilities outside the Hamlet, but does govern the impact of the ski hill on the Hamlet’s infrastructure and housing.

The **Community Plan** and *Implementation Guidelines* address the following:

- the community’s contribution to the ecological integrity of the park and to the protection of its cultural resources
- the amount of overnight commercial accommodation permitted
- the scale, character and extent of commercial, residential, and institutional development at full plan buildout
- the number of residents and overnight visitors
- landscape and streetscape improvements
- infrastructure
- the Hamlet boundary
- Heritage Tourism
- basic and essential services
- environmental stewardship

NOTE: CPR Land

Canadian Pacific Railway has indicated that all railway lands are required for railway purposes at this time. Nonetheless, the vision for Lake Louise must include the entire Hamlet, including land owned by the CPR. Proposals in these Guidelines for some CPR lands are in the best interests of the community and the park should alternative uses be possible. For example, the wise use of certain parcels can contribute to the supply of much needed housing. If these proposals are pursued, the developer will be responsible for negotiating with CPR for use of the property in question.

# RELATED INITIATIVES

While the focus of the **Community Plan** and these *Guidelines* is on the Hamlet and Upper Lake Louise, it is important to understand how Parks Canada intends to manage development in other areas of the park. A sensitive, integrated management strategy began with the Banff National Park Management Plan. The **Community Plan**, *Implementation Guidelines* and the following initiatives further define the strategy.

**Town of Banff**  
The Town of Banff has completed a new community plan that includes parameters for use and growth.

**Outlying Commercial Accommodations**  
New development and growth guidelines for Outlying Commercial Operations and Hostels, including Moraine Lake Lodge, are being finalized.

**Field, Yoho National Park**  
The Field Community Plan will guide development and use in the village. The plan identifies specific limits for growth.

**Skiing Louise**  
The ski hill has a potential major impact on Lake Louise’s power supply, sewage treatment facilities, and housing. Ski Area Guidelines will address winter and summer activities. A new Long Range Plan will be prepared.

**Transportation**  
Any plans to expand the Trans-Canada Highway will require an environmental assessment. This assessment will address wildlife movement concerns and the effect of highway expansion on the Hamlet.

A regional transportation study will look at ways to reduce the impact of vehicles on the park’s ecological integrity and at the benefits of public transportation. Lake Louise public transportation planning will look at ways to reduce congestion, improve visitor experience, and seek environmental improvements.

**Electrical Power**  
As a result of concern about the power supply in the Bow Valley, TransAlta reviewed its capacity to maintain an adequate power supply at potential build out. The review indicated that the existing infrastructure has sufficient capacity to meet future demand.

**Human Use and Reducing Ecological Impacts**  
Parks Canada will address ecological and quality visitor experience concerns in the broader Lake Louise area through the preparation of an area strategy.

# LIMITS TO GROWTH

National parks play a central role in the regional tourism industry. The number of visitors to the four mountain parks, already in the millions, is expected to increase in the future. This will create demand for more services and facilities by both visitors and residents. While the federal government supports the contribution national parks make to tourism, Parks Canada has also made a commitment to the people of Canada to give priority to the protection of the park’s ecological integrity and cultural resources.

The *Banff National Park Management Plan* allows modest growth in Lake Louise. Allowing some growth offers an opportunity to make site specific ecological improvements, provide better protection of cultural resources or improve the character of development to better reflect national park values. However, there must be clearly defined limits to that growth as well as a clear picture of what future development will look like. The limits set forth in the **Community Plan** and this document are intended to ensure growth is compatible with the ecological, social, and fiscal needs of both the community and the park. Specific limits for commercial accommodation, retail, and community services are based on:

- The 1997 *Banff National Park Management Plan* - the plan permits limited expansion of commercial operations, allows commercial operators to expand to assigned limits, and provides for residential accommodation to resolve the current housing shortage. A cap of 3,500 on the number of overnight visitors in commercial accommodation identified in the plan.
- Ecological issues and achieving ecological improvements (see - A Place for Nature).
- Protecting important cultural resources.
- Preserving and enhancing the character of Lake Louise to reinforce national park values. The limits to growth included in this document are fixed and must not be exceeded.
- Providing basic and essential services to visitors.
- Providing for the housing and social needs of the community.
- Public Opinion - public input points to continuing concern about development in national parks.

# PUBLIC CONSULTATION

In preparing the **Community Plan**, Parks Canada relied on input from a range of people who are interested in the future of Lake Louise. The Lake Louise Advisory Board (LLAB), in particular, has provided valuable insight and helped shape the plan.

Open houses in Calgary and Lake Louise attracted more than 200 people, many of whom took the time to provide written comments. Parks Canada also spoke to major businesses and stakeholders.

Canadian Pacific Hotels consulted with the public about their proposed Meeting Facility and received more than 350 written comments. As many of those comments were relevant for Lake Louise as a whole, Parks Canada considered them during the preparation of the plan.

Consultations showed general support for the proposed principles, the definitions of basic and essential services, the need to address housing issues, and many of the concepts. However, opinions about more commercial growth varied.

Three scenarios for commercial accommodation growth were presented for public comment. Scenario 1 would allow 300 additional overnight visitors, resulting in a total capacity of 2,700/night. Scenario 2 would allow 570 additional overnight visitors, for a capacity of 2,970. Scenario 3 would add 270 overnight visitors for a total of 2,670.

Reaction to these scenarios was mixed. Some wanted a no-growth option. However, others were willing to support some growth if there are tangible ecological gains. The LLAB and business operators favoured Scenario 2 and opposed limitations on the pace of growth. Parks Canada carefully considered these varying views in preparing the **Community Plan**.

These *Implementation Guidelines*, which primarily affect community members, have been prepared in collaboration with the LLAB.





## PART II

### RESOURCE PROTECTION

#### A Place for Nature

- Policy, Management Plan and Ministerial Direction
- Background
- Objectives
- Guiding Principle
- Actions

#### A Place of Historical and Cultural Significance

- Policy, Management Plan and Ministerial Direction
- A Look at the Past
- Background
- Cultural Resource Zones
- Objectives
- Guiding Principles
- Actions

#### Community Character

- Management Plan Direction
- Background
- Objectives
- Guiding Principles
- Actions



# A PLACE FOR NATURE

## ...Protecting Banff's Ecological Resources

"The National Parks of Canada are hereby dedicated to the people of Canada for their benefit, education and enjoyment and shall be maintained and made use of so as to leave them unimpaired for the enjoyment of future generations."

Canada National Parks Act

## POLICY, MANAGEMENT PLAN AND MINISTERIAL DIRECTION

The Park's management plan identifies ecological integrity as the cornerstone of its mandate and outlines the contribution Lake Louise must make to environmental protection.

- To maintain the park's ecological integrity, Parks Canada will focus on:
- improved science
  - managing and reducing stresses on the ecosystem
  - applying ecosystem-based management principles in decision making
  - restoring ecological processes and structures
  - increasing visitor understanding and appreciation of ecosystem-based management, the impact of humans on the ecosystem, and opportunities for stewardship

### Key Actions

- limit the number of overnight guests
- allow operators to expand to their assigned limits
- prohibit the development of new land outside the Hamlet for commercial purposes
- review the impact of the Harry's Hill residential area; prohibit expansion of the boundary around Harry's Hill
- remove the Trailer Court by 2005

Banff National Park Management Plan, 1997

In the Spring of 1998, the Federal Government announced there would be no new commercial accommodation operations.

In June of 1998, the Minister announced that the principle of no net negative environmental impact would be applied in all national park communities.

## BACKGROUND

Lake Louise is one of the most popular destinations in Banff National Park. Upper and Lower Lake Louise will continue to be managed as a high visitor use area where visitation will be encouraged. The management plan allows some growth in commercial activity. Within this context, careful attention is required to ensure that the millions of visitors who enjoy the area every year do not overly stress the ecological integrity of the surrounding park land. Growth will be limited and subject to conditions that benefit the park.

The main areas of ecological concern associated with Lake Louise are:

- wildlife habitat effectiveness and habitat fragmentation
- the protection of the Fairview and Whitehorn wildlife corridors
- loss of native vegetation and natural habitat
- the spread of non-native plant species
- the habituation of wildlife to humans
- conflict between people and wildlife
- the quality of the riparian environment
- water quality and conservation
- cumulative effects



Maturing stands of lodgepole pine.

## Wildlife

The Lake Louise area, with its extensive lodgepole forest, damp slopes, alpine meadows, and large valleys is home to a variety of mammals. Ungulates such as elk, mule and white tailed deer arrive in late spring. Moose occasionally pass through the area.

The area's most common carnivores include bears, wolves, Canada lynx, and coyotes. Improved garbage management and safer food storage in campgrounds have significantly reduced the number of conflicts between bears and humans. However, grizzlies roam throughout the area and the potential for contact with people remains.

Wolves, Canada lynx, and coyotes are seldom seen, preferring to remain between Harry's Hill and the ski hill or between the Bow River and the Chateau Lake Louise. Wolverines are elusive; these animals prefer higher elevations and are known to frequent the ski area, occasionally feeding on garbage.

Recent studies indicate that many species, particularly large carnivores, are wary of humans and are reluctant to approach areas where there are even small numbers of people. More visitors and development force these animals into areas where the habitat is unsuitable or into situations where they may come in conflict with humans. Clearly, the long-term survival of these species depends on preserving suitable habitat and the corridors animals use to travel throughout their range.



Grizzly bears are common in the area.

## Habituation of Wildlife

Habituation - the process by which animals become used to humans - is an on-going problem in Banff National Park. Animals become habituated for a variety of reasons. Many facilities such as trails and campgrounds take visitors near or even through prime wildlife habitat. Strolling at the edge of the community at dusk or dawn, storing food and garbage improperly, changing patterns of use, all increase the likelihood of encounters with wildlife, particularly bears.

Although habituation allows bears to use habitat near developed areas, it increases the potential for conflicts, which all too frequently result in the bear's death. Approximately 90% of all known grizzly bear deaths in the park happen within 500 m of human facilities (Banff-Bow Valley Study, 1996).

In recent years, Parks Canada has modified access to popular tourist destinations such as Larch Valley, Sentinel Pass, and Paradise Valley, when the potential for human conflict with bears is higher. The park has also introduced new measures to reduce bear habituation. These include training for concessionaires, better information for campers, and programs to discourage bears from approaching people. These initiatives seem to be effective and will continue. In addition, a *Bear/Human Conflict Assessment* has been prepared.

While Lake Louise does not attract ungulates in significant numbers, the community's lawns, non-native trees and shrubs, and refuge from wolf predation may make the area more attractive for these species. Great care is needed to avoid this.



Elk grazing in the centre of the Hamlet.



Wildlife Movement

In some ways, wildlife are not unlike people. It is much easier for them to move through valleys than along the steeper mountain slopes. Around Lake Louise the valley bottom is approximately 1.5 km wide. Lower Lake Louise, the Trans-Canada Highway, the CPR main line, rail yards, Harry’s Hill, and the Bow River are all located within this narrow strip of land. Habitat fragmentation, difficulty moving between areas of secure habitat, little protective cover, and few escape routes for wildlife are the result.

There are two major wildlife corridors in the Lake Louise area. The Whitehorn Corridor is located on the north side of the valley between the Trans-Canada highway and the ski hill. The Fairview Corridor along the south side of the valley passes between the Hamlet and Upper Lake Louise. A third corridor along the Bow River has recently been identified. Elk appear to favour a route just west of the trades compound. Bears, for the most part avoid development, however they do travel along the west side of the campground.

Because wildlife often follow park trails, it is important not to build where wildlife is abundant and to ensure trails offer animals and people adequate opportunity to see and avoid each other.

A number of roads cut through the wildlife corridors. It is here that conflict between wildlife and people is most likely.

Harry’s Hill

Parks Canada completed a review of the Harry’s Hill residential area (Leeson, 1997). The review concluded that the wildlife corridor between Harry’s Hill and the ski hill parking lots is wide enough to allow movement of the area’s wildlife species. A limited residential district on Harry’s Hill, with modest infilling, should not lead to any increased conflict with bears or pose concerns with respect to other wildlife.

Improvements to garbage management have virtually eliminated the serious conflicts with bears that were common in the 1970s. Records from the past decade show that Harry’s Hill is now one of the least likely locations for conflict in the Lake Louise area. Residents of Harry’s Hill appear to respect bears and understand how to live safely in bear country.

Climate

Variable - this describes the climate of Lake Louise. Pacific and Arctic air masses can cause the temperature to fluctuate dramatically from day to day. Records show that the weather also varies considerably from year to year. July is the warmest month with a mean daily temperature of 12°C. January is the coldest month with a mean daily temperature of -14.4°C. It is not unusual for temperatures in the valley bottom to be measurably cooler than temperatures higher up. Temperature inversions, when a layer of cold dense air traps warmer air below it, occur throughout the year, but are more noticeable in fall and winter.

Because of its location close to the leeward side of the Continental Divide, Lake Louise receives about 602 mm of precipitation annually - 50% more than Banff. Two-thirds of the precipitation falls as snow. December has the heaviest snowfall and July the most rain.

Vegetation

Biologists have divided the mountain ecosystem into three zones - the montane, the sub-alpine and the alpine. Lake Louise lies in the subalpine zone, typically an area of Engelmann spruce and subalpine fir. Wildfires and logging along the railway have created a lodgepole pine forest, particularly in the lower valley. Because there is little regeneration of lodgepole pine, if left undisturbed, it will eventually be replaced by spruce and fir. In many areas these species are already well established in the forest understorey. Near the treeline, the dense subalpine forest thins to an open forest of fir and larch.

Buffaloberry is the predominant shrub, with some juniper in steeper, drier habitats. The ground is covered with moss and herbs.

Shrubby and herbaceous plants have colonized the rocky flood plain of the Bow and Pipestone Rivers. Extensive wetlands on both sides of the lower Pipestone River and across the lower Whitehorn Mountain terraces to Corral Creek provide some of the area’s best bird nesting habitat and forage for moose.

Lake Louise’s buildings, parking lots, roads, rights-of-way, and lawns have displaced native vegetation. With some exceptions, most attempts at revegetation have had only moderate success.

Wildfire

We are all too familiar with the destruction a major fire can leave in its wake. We think less often of the important role wildfire plays in maintaining an ecological balance. Before 1920, the average area burned in the Banff-Bow Valley was 127 km²/year. Between 1930 and 1990, an average of only 10.5 km² burned annually (Banff-Bow Valley Study, 1996). This absence of fire has significantly altered the structure, composition, and age of plant communities and animal habitats. It has contributed to the gradual loss of open grasslands, shrublands, deciduous forest, and young conifer forest.

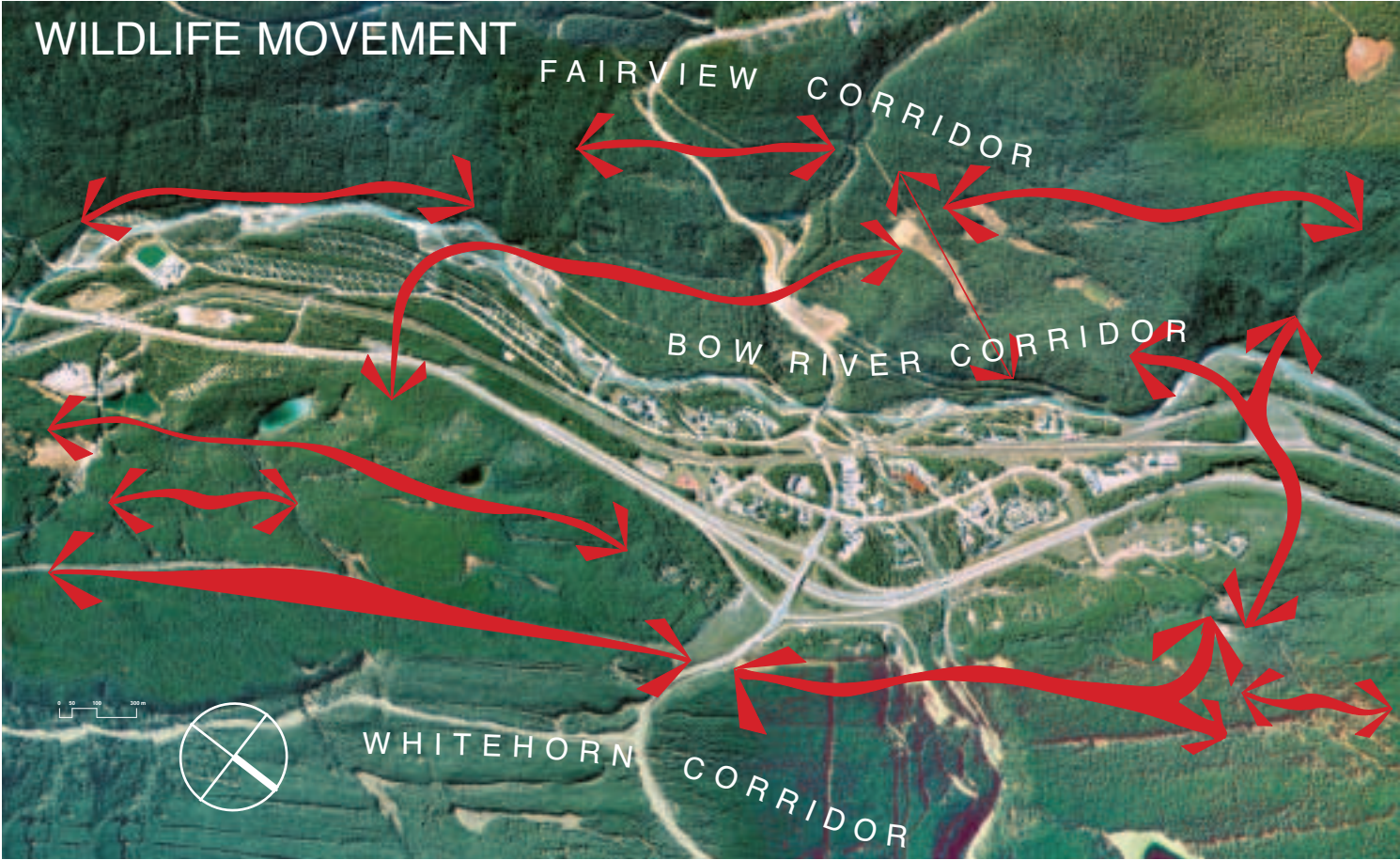
The buildup of woody debris and other fuels on the forest floor creates the risk of intense, uncontrollable wildfires. Investors, residents and tourists should be aware that, without attention to this problem, this risk will continue to increase.

Landforms

Lower Lake Louise is situated on an alluvial fan. Soils associated with this landform are permeable, cobbly, and suitable for construction. A series of ridges step up from the valley floor to Upper Lake Louise. The soil along these ridges is primarily glacial till. The road cuts to Upper Lake Louise are stark reminders of the potential for these ridges to slump and erode. The soil around the Chateau Lake Louise is quite stable, but is subject to erosion if the ground cover is removed.

Air and Water Quality

See - A Place for Environmental Stewardship (Part V).





OBJECTIVES

To ensure the community contributes to a healthy regional ecosystem.

To manage visitor use so that ecological integrity is not threatened.

To limit growth as stated in the management plan and by the Minister.

To maintain healthy wildlife habitat in the surrounding region.

To discourage large mammals from entering the community.

To protect the Fairview and Whitehorn wildlife corridors.

GUIDING PRINCIPLE

New development and visitor use in the community will have no net negative environmental impact on the park’s ecological integrity.

ACTIONS

The health of the ecosystem is a primary concern for park managers. Because uncertainty about the actual impact of future use is unavoidable, changing circumstances will require some flexibility on their part. The park and the community must monitor progress carefully and must assess when changes are needed to protect the park’s ecological integrity and to ensure there is no adverse impact on adjacent lands.

While the following actions address specific environmental concerns, readers should remember that the need to protect ecological integrity is the foundation for all the actions in the **Community Plan** and *Implementation Guidelines*.

General

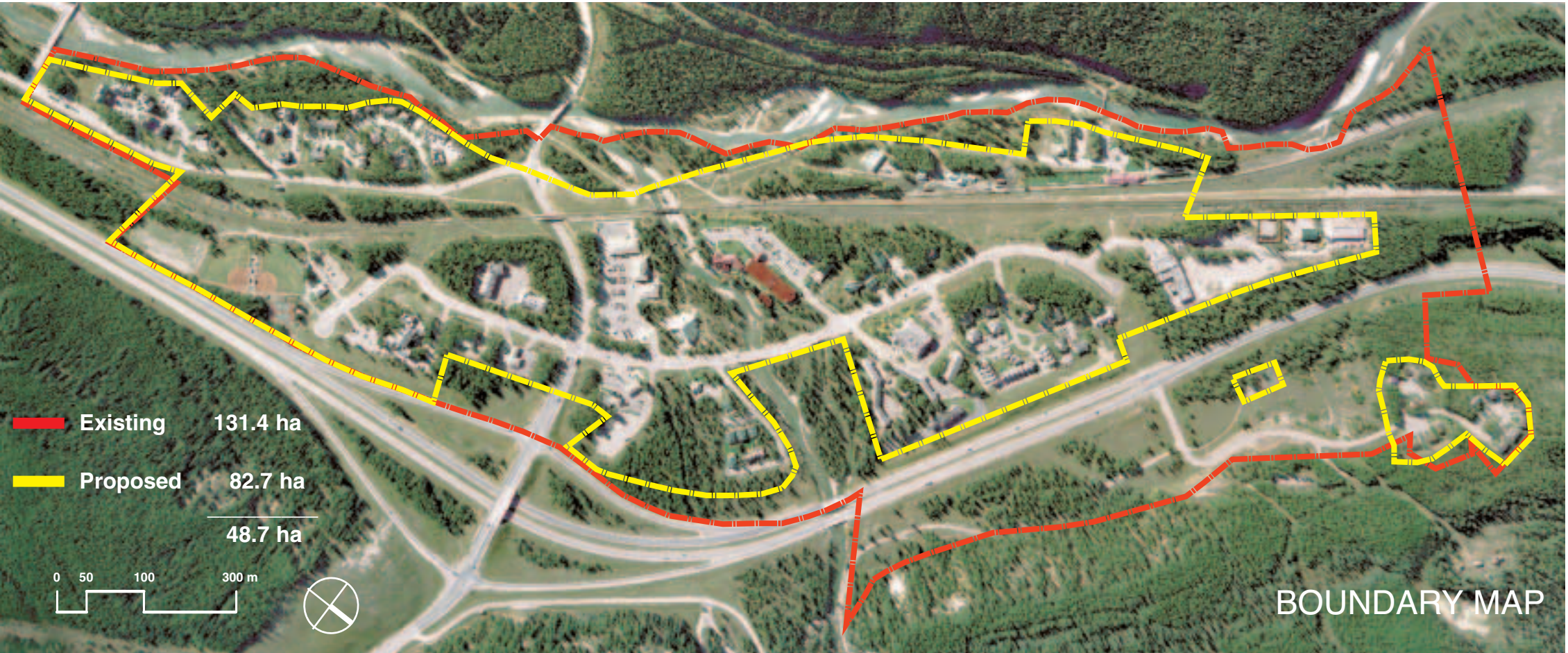
- implement a no net negative environmental impact monitoring framework
- apply the precautionary principle when there is uncertainty about the impact of an action
- reduce the Hamlet boundary by approximately 37%. This will reduce the size of the community by 49 ha and help protect wildlife movement routes and riparian environments

- zone sensitive areas as environmental reserves
- use educational and interpretive programs to promote a better understanding of sustainable communities, ecological integrity, local environmental issues, and the vital role of staff and visitors in protecting our national parks
- limit commercial leaseholds to their existing size; allow boundary adjustments where they will contribute to better resource protection
- consider the impact of projects in the Hamlet on areas outside the Hamlet
- concentrate development on disturbed sites
- keep the amount of development on individual sites to a minimum; reduce the development footprint where possible and practical
- enforce the terms and conditions of the Trailer Court license of occupation as new housing becomes available; rehabilitate the area when the trailers are removed
- rigorously apply the CEAA to development proposals
- require new business applications to demonstrate that they will have no net negative impact in and around Lake Louise

- ensure development and activities are consistent with the *Heritage Tourism Strategy*, basic and essential services, and the appropriate use framework
- provide leadership in environmental stewardship (see Section V)

Wildlife

- manage the community to assist in maintaining healthy habitat for large carnivores and ungulates in the surrounding region
- plant species large animals do not find palatable; this will help discourage large mammals from entering the Hamlet and Upper Lake Louise
- improve habitat for small mammals, birds and insects
- work with the CPR to eliminate and clean up grain spills
- rehabilitate areas no longer required for community activities (e.g., community horse corrals)
- ensure upgrades to the Trans-Canada Highway consider the community, human use issues, and wildlife movement
- monitor wildlife movement in the Fairview, Bow River and Whitehorn Corridors





- locate facilities and activities so they do not block wildlife movement
- adopt standards for outdoor lighting that contribute to habitat security and wildlife movement
- assess the effect of the campground on wildlife movement; adjust as necessary

- continue with measures to prevent wildlife habituation, particularly in the campground (e.g., information on food handling, staff training, campground patrols, etc.)

- improve waste management; upgrade garbage bins; ensure timely garbage collection.

- implement the bear/humans conflict plan

Vegetation

- restrict the use of non-native species; where practical, remove species that pose a serious threat to the ecosystem
- rehabilitate more than 40 ha with native vegetation inside and outside the village
- actively pursue improvements to the natural landscape on commercial and residential properties
- reduce the need for chemicals through an integrated pest management program
- work with the CPR to control exotic plants carried in on rail cars
- establish a budget to eliminate noxious weeds (e.g., thistle)
- monitor noxious weeds and non-native vegetation
- reduce the potential risks of wildfires and potential impacts on facilities by selectively managing vegetation; develop a forest fire hazard reduction strategy for the Hamlet and each commercial operation in Upper Lake Louise as part of a broader comprehensive vegetation management strategy for the Lake Louise area

See also - Landscape Strategy, page 33

Aquatics

- exclude most riparian environments from the Hamlet
- establish environmental reserves along all river banks within the Hamlet
- locate new development a minimum of 30 m from all rivers
- rehabilitate disturbed areas along Louise Creek and the Pipestone River

- reduce the effects of runoff from parking lots and roads by providing a vegetated buffer, storm sceptors and use appropriate environmental management practices
- keep the number of roads close to waterways to a minimum

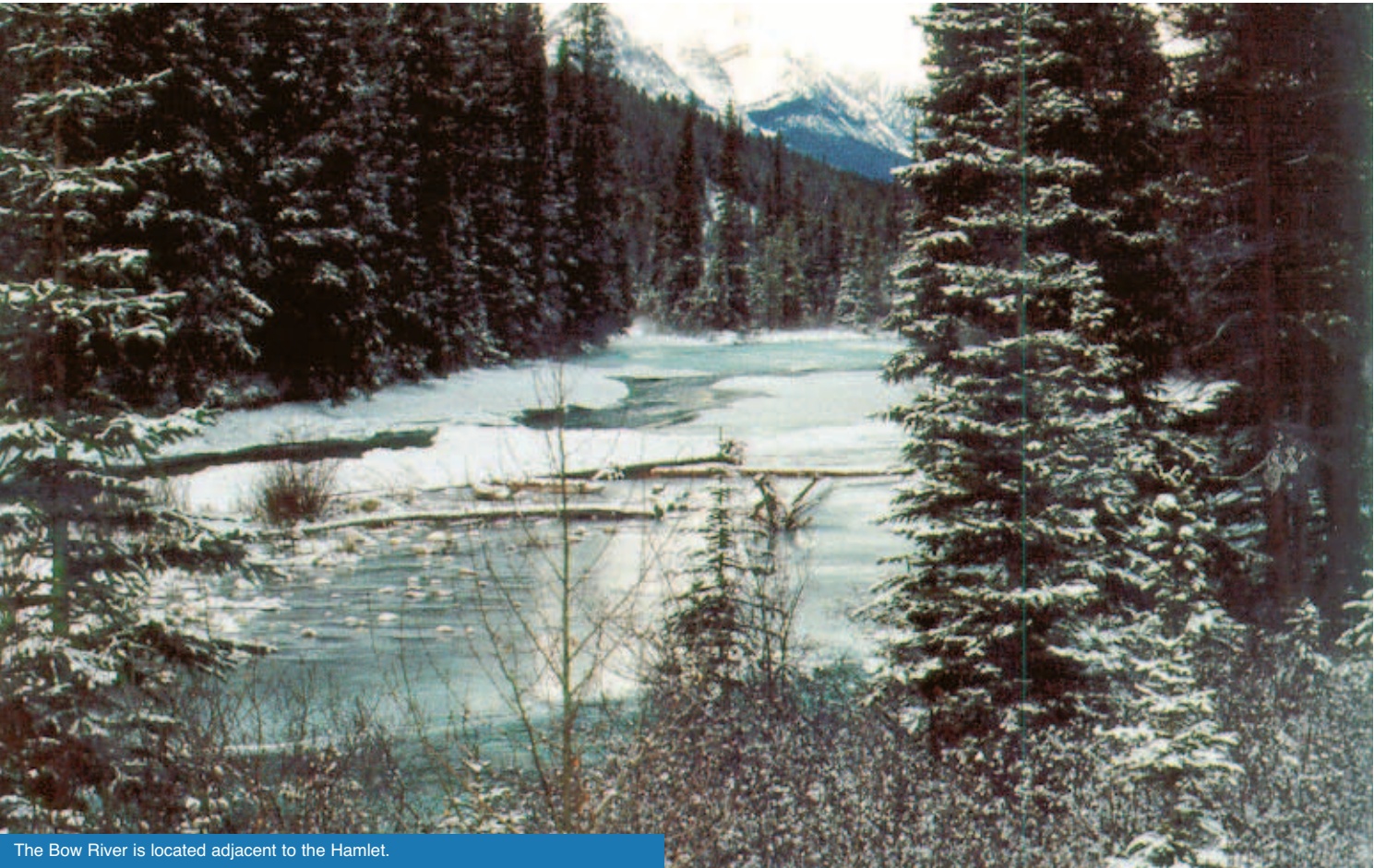
See also - A Place for Environmental Stewardship, Part V

Human Use

The following actions will address crowding and other human use issues outside the community.

- actively manage summer use of the ski hill
- prepare human use strategies that support high quality visitor experiences and contribute to the park’s environmental health
- support public transportation to Moraine Lake and Upper Lake Louise as a way to improve habitat effectiveness, wildlife movement and the experience of visitors if it can be practically implemented
- limit day-use infrastructure (e.g., parking lots) in Upper Lake Louise

- assess the impact of trails and activities (e.g., mountain biking, groomed ski trails) around the Hamlet and the need for modifications on the ski hill side of the Trans Canada
- review licenses of occupation/leases in the immediate area that have not been addressed by the guidelines to ensure consistency with its basic intent and principles
- monitor the impact of shoulder season use on wildlife; take necessary measures to reduce any negative impact
- require commercial operators to occasionally survey guests and staff to determine the type and patterns of outdoor activity. This will help in the preparation of human use strategies.
- reassess the habitat effectiveness target for the Lake Louise Landscape Management Unit
- monitor use levels on trails and road ways in the area
- monitor the success of staff education programs



The Bow River is located adjacent to the Hamlet.

No Net Negative Environmental Impact Monitoring Framework

The principle of no net negative impact ensures that park communities do not undermine the ecological health of their parks. To achieve this objective, a framework for monitoring changes will be prepared. The framework for Lake Louise will be completed within two years of the approval of the Community Plan.

The park will use indicators to measure the impact of environmental stressors generated within the community (e.g. solid waste, water, development, use, etc) on adjacent park resources. Should an indicator show a negative environmental impact, corrective action could include any of the following:

- improved mitigation
- reduction or elimination of the stressor
- amendments to the **Community Plan**

Monitoring will ideally take place at least every five years as part of the Community Plan review. Some stressors and indicators will be measured more frequently, such as human/wildlife conflicts. Corrective action will be undertaken prior to the five year review if necessary.

To establish the framework requires the following actions:

- identify stressors and indicators
- identify appropriate measurement methodology, frequency, and responsibility
- obtain baseline data

The Chateau Lake Louise has recently completed a Monitoring Framework for its operations. A framework has also been prepared for summer use at the ski hill. Parks Canada’s community framework will need to compliment those of the Chateau and ski hill.



# A PLACE OF HISTORICAL AND CULTURAL SIGNIFICANCE

## ...Protecting Historical and Cultural Resources

Commemorative integrity will be achieved when the resources that symbolize or represent a site's importance are not impaired or under threat, when reasons for its significance are effectively communicated to the public and when the heritage values are respected by all whose decisions or actions affect the site.

*Parks Canada's Guiding Principles and Operational Policies, 1994*

To protect historical and cultural resources:

- design programs to protect the park's heritage and cultural resources
- protect locally, regionally and nationally significant examples of built heritage
- adopt a systematic approach to managing leases and licenses of occupation for heritage buildings
- draft a cooperative management agreement for the maintenance and protection of the heritage railway station in Lake Louise

*Banff National Park Management Plan, 1997*

Community plans must address preservation of priority heritage buildings representative of the community's distinctive community character.

*Minister of Canadian Heritage , 1998*

*Cultural landscape - any geographical area that has been modified, influenced, or given special cultural meaning by people.*

*(Gourlay-Vallance, 1997)*

## A LOOK AT THE PAST

Like so many communities in Canada's Rocky Mountains, Lake Louise traces its beginnings to the construction of the Canadian Pacific Railway. It was in 1882 that the Stoney Indians led Tom Wilson, a CPR employee, to the "Lake of Little Fishes." Today, the Louise Creek Trail follows Wilson's path to Lake Louise, renamed for Queen Victoria's daughter, Princess Louise Caroline Alberta.

The arrival of the railway gave climbers from around the world access to some of the best mountaineering in the Rockies. Walter Wilcox, an American writer and photographer, was the first to climb Mount Temple, the area's highest peak. The publicity given to such exploits, along with the spectacular beauty of the area, attracted many more people who wanted to explore the mountains. To accommodate these visitors, the CPR built a guesthouse beside the lake in 1890 - the Chalet Lake Louise. The CPR also built trails and shelters and, by 1900, was hiring Swiss guides to lead mountaineering expeditions for its wealthy clientele. The cottage where these guides lived still stands on the shores of Lake Louise.

As the area's importance as a tourist destination grew, a community took shape beside the railway. Known over the years as Holt City, Laggan, Lake Louise Station, and Lower Lake Louise, this service centre is now known as the Hamlet of Lake Louise. At first the only way to get to the community was by train. Special narrow gauge, open trams took visitors from the train station to the lake along what is now the Tramline Trail. In 1910, the CPR replaced the original train station with the finely crafted log building that is now a restaurant.

The completion of the highway between Banff and Lake Louise in 1921 ended the CPR's monopoly on tourist development in the area. With construction of the road to Golden and the Big Bend Highway, motorists began to outnumber train travellers and new kinds of tourist facilities appeared. Skoki Lodge, the Lake Louise Ski Lodge (Post Hotel), and the lifts and gondola on the north side of the valley attracted skiers in increasing numbers.

In 1957, the Trans-Canada replaced the original highway closer to the lake, taking visitors through the Bow Valley instead. In the 1960's, Parks Canada began a major program to overhaul the community's facilities, including its roads, bridges, sewers and power supply. The 1980's saw more major changes: expansion of visitor accommodation, the addition of new services, a visitor reception center, residential development and improvements to infrastructure in response to growing tourism demand. Today, the area's popularity continues to create a demand for more visitor and residential services.

Concern for preserving the area's unique mountain environment accompanied the growing interest in tourism. The Dominion Government created the Lake Louise Forest Reserve in 1892. In 1902, this reserve was included in the Rocky Mountains Park, later renamed Banff National Park. Today it is part of a system of national parks that stretches across the country and is recognized internationally for its place in UNESCO's Rocky Mountain World Heritage Site.

*All historic photographs were used with permission from the Whyte Museum of the Canadian Rockies.*



Chateau Gardens, date unknown

V469-3647



Tour Buses, mid-1900s

NA17-776



Chateau Lake Louise, early 1900s

NA71-4860



BACKGROUND

Lake Louise has a number of heritage resources that are in need of protection. The Chateau Lake Louise, the Train Station, the view of Lake Louise and the Plain of Six Glaciers - these are just a few reminders of Lake Louise’s history. As the community adapts to changing circumstances, it must take care to preserve these links to the past; to preserve its unique heritage character; and to look to its heritage resources for inspiration as new development proceeds.

It is important to remember that buildings are not our only visual connection with the past. In Lake Louise archaeologists have identified various cultural landscape features such as graves, the remains of construction/work camps, dumps or middens, remnants of trails or wagon roads, and foundations. In the area immediately around the village, researchers have identified sites that predate the arrival of Europeans.

Historic artifacts found at Lake Louise are mainly associated with railway construction in the late 1800s and subsequent logging which continued into the 1920s. Many structures from the European period have been removed, accidentally burned, or modernized.

Parks Canada has completed a report entitled *Lake Louise: Built Heritage Resources Description and Analysis (BHRDA)* (Taylor, 1999). This document identifies and describes significant heritage buildings and is a valuable reference for anyone considering alterations or repairs.



Chateau Lake Louise, ca. 1909

NA80-1621



Laggan Station, ca. 1901

V701/LC-29



Lake Louise Chalet, ca. 1910

NA71-4836



Tramway, ca. 1920

NA71-4864



Triangle Inn, date unknown

NA71-4896



Post Hotel, ca. 1940

NA71-4884



Swimming pool, ca. 1930

NA71-4910

IMPORTANT DATES

- 1882 Stoney Indians lead CPR employee Tom Wilson to Lake Louise.
- 1883 Holt City established (later named Laggan)
- 1890 CPR builds the first lakeside guesthouse.
- 1892 The government creates the Lake Louise Forest Reserve.
- 1893 Construction of the Chalet Lake Louise (destroyed by fire in 1924).
- 1902 Lake Louise Forest Reserve becomes part of the Rocky Mountains Park.
- 1910 CPR builds a new log train station.
- 1910 Installation of a tram line between the train station and the Chateau Lake Louise (discontinued in 1930).
- 1914 Laggan townsite renamed Lake Louise.
- 1924 Fire destroys the Chalet Lake Louise; construction begins on the Chateau Lake Louise.
- 1930's Construction of the Post Hotel, Temple Lodge, and Skoki Lodge.
- 1957 Completion of the Trans-Canada Highway.
- 1959 Major redevelopment of Lake Louise's infrastructure begins.
- 1979 Lake Louise Management Plan - established a basic long term direction for the area and sets the stage for improvements to infrastructure and visitor facilities.
- 1980's Major expansion of visitor facilities and changes to infrastructure.



CULTURAL RESOURCE ZONES

Lake Louise's heritage resources have been grouped into three zones: the Lower Lake Louise Zone, the Link Zone, and the Upper Lake Louise Zone.

Lower Lake Louise Zone

**1. Railway Station (1910)**  
The completion of the railway station marked the beginning of a new phase in the design of national park buildings. Throughout the 1920s, the CPR applied this bold new approach in log construction to a series of tourist facilities. Designated under the Heritage Railway Stations Protection Act, the renovated train station is now a restaurant. Other important features associated with the railway are the former railway garden east of the station, the railway cars, the working spur area, and some small railway shacks that are currently in need of repair.

**2. Post Hotel (1938)**  
With the completion of the Lake Louise Ski Lodge in 1942, the area added skiing to its already impressive list of attractions. The Ski Club of the Canadian Rockies acquired the lodge in 1947. Over the years the facility expanded by adding cabins and the Pipestone Motel. Renamed the Post Hotel in 1957, the lodge built a major addition in the 1980s. This addition changed the appearance of the lodge dramatically, although the dining room incorporates some of the early building.

**5. Tramway (1912 - 1930)**  
A narrow-gauge tramway between the CPR station and the Chateau Lake Louise replaced the original horse-drawn "tally-ho" service. Two open-bench passenger cars with internal combustion engines made a total of thirty round trips a day during the height of the summer season. The Tramline Trail follows the original route to the lake.

**6. Highway 1A (West of Lake Louise)**  
Highway 1A was once the Trans-Canada highway. The highway has recently been closed.

Link Zone

**3. Paradise Bungalows (1935)**  
An excellent example of the bungalow camps built in the mountain parks in the 1930s, Paradise Bungalows has been spared the large scale development that altered the character of many of its contemporaries. Most of the buildings on this site date back to the late 1930s. H.C. Beckett, the architect of the Banff Administration building, designed the main lodge.

**4. Picnic Area**  
Before 1923, the picnic area next to Paradise Bungalows was a campground.

Upper Lake Louise Zone

**7. Chateau Lake Louise — Painter Wing**  
In 1911, the CPR added a 350-room, fireproof wing to its guest house on the shores of Lake Louise. Known as the Painter Wing, after the CPR's chief architect Walter Painter, it is the oldest surviving section of what is now the Chateau Lake Louise. Almost predictably, the wooden portion of the Chalet Lake Louise burned in 1924 and was replaced by a large concrete structure. This 385-room addition introduced the Chateau style and created a more unified impression than the former building.

**8. Trails**  
Swiss guides laid out hiking and bridle trails in the 1890s.





**9. View of Lake Louise and the Plain of the Six Glaciers**

Millions of people still enjoy the famous view of Lake Louise and the Plain of the Six Glaciers that attracted visitors to the area more than a century ago.

**10. Hillside Cottage (1911 - 1912)**

The addition of the fireproof wing on the Chalet Lake Louise changed the ambience along the lakeshore. A grand hotel with modern efficiencies replaced the intimate chalet in its rustic setting. Partly in an attempt to retain some of the atmosphere of the old chalet, the hotel built three cottages, each with approximately 36 rooms. The cottages were later converted to staff accommodation; Lakeview and Fairview cottages were subsequently demolished. Only the Hillside Cottage remains as a reminder of the architectural style of the first chalet.

**11. Swiss Guides’ Cottage (1920)**

The Swiss guides employed by the CPR spent their summers in this cabin. In addition to their skills as alpinists, the guides, dressed in traditional Swiss attire, contributed to the hotel’s atmosphere. The cabin’s vertical half logs on the gable ends, log eaves, and open verandah conveyed a “Swiss” image and created an attractive backdrop for the guides’ presence at the hotel.



Chateau Lake Louise

**12. Schloss Residence (1930)**

The CPR built the Schloss Residence for Brewster Transport, the company responsible for bringing guests to and from the train station after the tramway closed. The Brewster Company, which used the building as a bus barn, staff residence, and stables, also offered guided trail rides and bus tours around Banff. The Schloss Residence picked up on the Mediterranean theme first introduced in the Tuscan towers of the fireproof addition to the Chateau. The building is now a residence and recreation facility for Chateau Lake Louise staff.

**13. Deer Lodge (circa 1922)**

Deer Lodge brought several establishments in the area under the management of Gertrude and Louis Crosby. The log dining room was originally part of the Crosby’s Lake Louise Trading Company (circa 1921). The log slab structure to the north was a YWCA hostel built in 1926. The brick structure and tower at the centre of Deer Lodge was added in 1930. Modern additions were made in 1961. The success of Deer Lodge reflected the growing independence of Lake Louise visitors from the CPR.

**14. Rocky Mountain Tours Garage (1940)**

West of Deer Lodge, the Rocky Mountain Tours Garage had space for buses on the ground floor and accommodation for drivers on the second floor. A stable attached to the main structure was used until the 1980s. The garage was recently damaged by snow.



Swiss Guides Cottage



Schloss Residence



Rocky Mountain Tours Garage

**OBJECTIVES**

To protect important cultural resources.

To increase awareness of the area’s heritage value and the role Lake Louise has played in the evolution of Banff National Park of Canada.

**GUIDING PRINCIPLES**

1. All development must respect Lake Louise’s heritage and the architecture of its historic buildings, their settings and views.
2. Parks Canada, residents, business people, and visitors share responsibility for safeguarding Lake Louise’s heritage.

**ACTIONS**

Many actions throughout the **Community Plan** and *Implementation Guidelines* support the protection of Lake Louise’s historical and cultural heritage. (See Community Character, the Landscape Strategy, and the site maps).

- use the *Built Heritage Resource Description and Analysis (BHRDA)* when making decisions about heritage buildings; protect structures and landscapes identified in the BHRDA
- provide owners with information about the significance of their heritage resources and how to protect them
- include information about historic resources in promotional material and other heritage tourism initiatives
- encourage owners to maintain and enhance resources that have special historical significance or character; ensure development proposals include measures to protect important heritage features
- use interpretive programs to highlight Lake Louise’s association with the railway
- adjust leases to require protection of important heritage features as a condition for redevelopment and/or as other opportunities present themselves
- ensure development next to heritage structures respects their character and setting
- protect the train station and its associated landscapes (See - A Place for People - Part III)



Deer Lodge



# COMMUNITY CHARACTER

## MANAGEMENT PLAN DIRECTION

The management plan provides the following direction:

- ensure Lake Louise is a model national park service centre that reflects the surrounding natural environment and national park values
- maintain the integrity of the regional landscape
- services and facilities will reflect an appropriate national park experience
- reassess land use within the Hamlet
- consider the possibility of using undeveloped lands for parking
- allow for public transportation to Upper Lake Louise

*Banff National Park Management Plan, 1997*

## BACKGROUND

In any community a variety of factors come together to create the “spirit of the place.” Foremost among these factors are the people, the landscape and the local architecture. For the most part, its superb natural setting and its location in a national park have shaped the “spirit” of Lake Louise.

To protect this spirit, the Minister of Canadian Heritage has stressed the need for strict development guidelines, including height restrictions and architectural standards. Heritage Tourism and Appropriate Use strategies (see A Place for People) are also key to enhancing the character of Lake Louise.

In many cases, land use and architecture in Lake Louise have a strong link with the natural setting. However, some recent development is not in keeping with the community's character. Improvements are needed in areas such as parking, pedestrian access, architectural design, land use, layout, landscape, signs and lighting to ensure they complement the glacier fed rivers, majestic peaks and aquamarine lakes that are the dramatic back drop to this mountain community.

This section explores how careful attention to aspects of development such as these can complement the natural characteristics of the area.



Village Road is overly wide and lacks pedestrian walkways.



Lake Louise Drive underpass is the only way across the tracks.

## Land Use And Zoning

Land use in the Hamlet reflects its role as a commercial centre where visitors can purchase basic services and supplies. Samson Mall, in the centre of the village, is the main retail area. Commercial accommodation along Village Road ranges from a hostel to luxury hotels. The solid waste transfer area, a trades complex, and the Parks Canada maintenance compound are located in a small industrial area at the northern end of the Hamlet.

Lake Louise lacks certain amenities associated with a traditional community. There is little public space, few walkways, and limited social facilities. As a result, automobiles, large parking lots, and roads dominate the Hamlet.

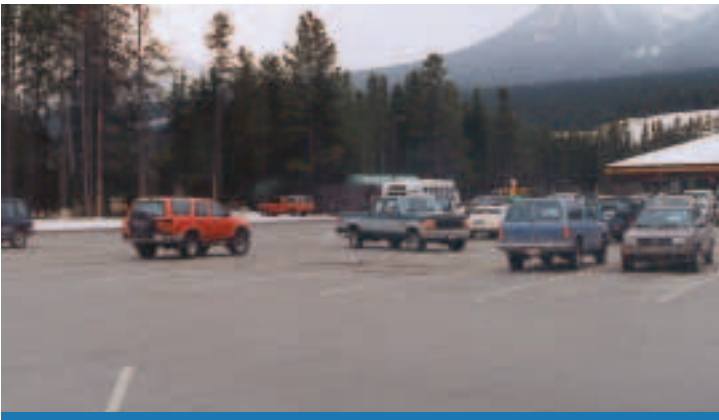
Land use in Upper Lake Louise is a combination of commercial accommodation, restaurants, staff housing, visitor parking, and hiking trails.

## Layout

Confined by the Bow River to the west and the Trans-Canada to the east, the Hamlet is long and narrow. The community is spread out and lacks a definite core area, making it difficult for new visitors to find their way around. The sense of having arrived at a unique mountain village is weak and the incentive for lingering is low.

Development extends along two wide roads that run in a generally north-south direction. Most visitor services are found along Village Road, the first cross-road motorists come to after leaving the Trans-Canada. Residential development is concentrated along the second road. The road to Upper Lake Louise and the railway divide the community into four distinct areas.

Development at Upper Lake Louise (Chateau, day use parking lot) is clustered at the east end of the lake. Deer Lodge and Paradise Bungalows are located along the road to the lake.



Large surface lots detract from the aesthetic appeal of the area.

## Transportation

### NOTE:

A separate planning initiative will assess transportation issues in more detail. It will build upon and reflect the direction provided in the community plan.

## Roads

The existing system of roads in Lower Lake Louise appears adequate to handle traffic for the near future, as do the four-way stops at the Hamlet's two major intersections.

Lake Louise Drive is the only access to and from the Trans-Canada. Secondary roads vary from the overly wide Village Road to the narrow tree-lined street to the train station. During peak visitor times, secondary roads are lined with parked cars.

East-west movement through the Hamlet is difficult as there are few places to cross the railroad tracks. As well, secondary roads come to dead ends, making it difficult for large vehicles to turn around.

## Parking

There is currently a shortage of parking spaces for residents and visitors in the Hamlet. The parking lot for the Samson Mall and the Visitor Centre has space for 95 cars and seven RVs or buses. When the lot is full, visitors park in bus spaces, along the road, and in staff parking lots. The community's large surface lots are unattractive and create undesirable environmental stress.

The large, paved, day-use parking lot at Upper Lake Louise has space for 530 cars and 14 buses. The design of the lot and its location near Louise Creek detract from the visitor experience and affect the environment along the creek. When the lot is full, visitors park along the main road. Chateau Lake Louise guests and staff are accommodated in a separate lot. Parking lots negatively affect the aesthetic appeal of the entrance to Upper Lake Louise and displace a substantial area of vegetation.

## Public Transportation

Local taxi companies provide transportation between Upper Lake Louise and the Hamlet, as well as tours to Kananaskis, Yoho, and Jasper. Parks Canada has recently explored public transportation (Vista). At one time, glass-roofed tour buses served the Lake Louise area, a precedent worthy of consideration. In the future, public transportation may play a major role in providing access to Upper Lake Louise.



Pedestrians

Trails can be an important interpretive vehicle and enhance the experience of the area. In the Hamlet, pedestrians are limited to a few trails around the village centre. Most people walk along the road or cut through parking lots. Many visitors and staff walk along the road to Upper Lake Louise because they are unaware of, or do not feel safe on the trail. This creates a conflict between pedestrians and vehicles.

Architecture

Every development, regardless of its size, affects the community’s character. The placement of buildings, their scale, mass, articulation, colour, and the materials from which they are built, influence the overall impression of the area. An eclectic mix of style and form contributes to an overall lack of unity in the Hamlet. Careful attention to architectural detail is required to correct this and to reinforce Lake Louise’s natural and historical legacy.

The architecture of Upper Lake Louise is more monumental in scale. The traditional style of the Chateau Lake Louise, Deer Lodge, and Paradise Bungalows recall their historical roots. Wood and stone are widely used.

Appropriate Features of Existing Buildings

- building and roof lines that break up a structure’s mass and scale
- steep roofs to shed snow (in some cases, snow retention is preferred)
- appropriately sized and detailed windows
- attention to architectural detail
- colours that reflect the natural landscape
- natural materials such as wood and stone
- building scale that complements the surrounding landscape
- design details and style inspired by the community’s historic buildings

Inappropriate Features of Existing Buildings

- large structures with continuous roof lines and shallow slopes
- continuous facades with no articulation to break up the scale and mass of the structure
- bright colours or pastels

- lack of architectural detail
- windows and features that are not in proportion to the scale and mass of the building
- inefficient A-frame structures that do not reflect the character of the area
- building scale that is inconsistent with the surroundings and that detracts from the landscape

Landscape Architecture & Site Planning

Planting, lighting, outdoor furnishings, signs and site planning can have a profound effect on the character of the Hamlet. The landscape strategy looks at these aspects of the community and describes how attention to their appearance, size, and purpose can improve environmental integrity and the visitor experience.

Plantings and Reclamation

The importance of natural plant species in Lake Louise cannot be overstated. In addition to their aesthetic appeal, native plants buffer waterways and protect unstable soils, slopes, and banks. Development poses the greatest threat to the community’s native vegetation. Extensive parking lots, buildings, and manicured landscapes permanently displace native species. Areas temporarily

disturbed (e.g., because of road construction) are not always adequately restored. Development and human use have damaged vegetation along the Bow and Pipestone Rivers.

Planting practices in Lake Louise vary in both appropriateness and effectiveness. Non-native species of turf grass, forbs, shrubs, and trees dominate open spaces around many developments. Manicured lawns and weeds are of particular concern. Their appearance is not in keeping with the natural environment and their maintenance often requires harmful chemicals. Ungulates and bears, animals which find many non-native grasses and other plants attractive, wander into developed areas in search of food, increasing the potential for conflict. Non-native species also have the potential to spread and displace native species outside of the community.

Lighting

Most lighting in Lake Louise does little to contribute to the ambience and character of the Hamlet. Lighting standards are often too large and fitted with high pressure sodium fixtures with an unnatural colour balance. These fixtures should be replaced as funds are available.

The night sky and star gazing is a highlight for many park visitors. The existing unhooded, high pressure sodium lights detract from their enjoyment.

Signs

Lake Louise has a shortage of signs to create an identity for the community and help people find their way. Nothing at the entrance to the Hamlet lets people know they have arrived in a special place. The lack of directional signs to community facilities and services creates confusion. Visitors repeatedly identify their inability to find their way around as a concern.

Lack of a sense of entry into the Hamlet, combined with poor orientation and directional signs, leaves first time visitors confused and adds to traffic congestion.

Site Furnishings

Appropriate outdoor furnishings and features such as fences and walls can add to the richness of the Hamlet. The colour, style, type, and location of these elements are important considerations.





# OBJECTIVES

To protect and enhance the appearance of Lake Louise (architecture, landscape, etc).

To contribute to ecological integrity and reinforce the relationship of the community to its national park setting.

To restore disturbed sites to a more natural state.

To help visitors find facilities and services.

To eliminate light pollution.

To improve vehicle and pedestrian movement.

To make sure all proposals include landscape improvements, both on and around leased land, when these improvements will affect the quality of experience for guests and residents.

To promote public safety.

# GUIDING PRINCIPLES

1. Lake Louise will continue to be a small, rustic park community where visitors feel welcome.

2. Lake Louise’s built environment will reflect its natural setting, the scale of existing development, and the cultural heritage of the area; visitors should be conscious at all times that they are in a national park.

3. The design of landscaped areas, parking lots and trails will reflect the need for snow removal.

4. Simple, clear directions and design will contribute to better traffic flow.

5. Native plants, in addition to being attractive and appropriate in a national park, support ecological integrity and should be used wherever practical.

# ACTIONS

The following land use and design guidelines are to be applied to all commercial facilities, staff housing and other associated structures. They are to be used in conjunction with the site-specific requirements found in Part IV. The main purpose of this section is to:

- establish landscape and architectural design parameters for all development
- indicate the criteria by which Parks Canada staff will evaluate development and redevelopment



Lake Louise’s built environment must reflect its natural setting.

# Hamlet Land Use & Zoning

- adjust zoning to address the following issues:
  - the shortage of adequate residential housing
  - the protection of environmentally sensitive areas
  - recreational and social needs
  - parking
- create a village centre and protect adjacent lands by centralizing commercial activity in the Hamlet
- prohibit new malls and limit new retail operations (See A Place for People - Part III)
- refuse requests to zone new land for commercial use
- promote infilling and consolidation of development, while respecting the importance of green space and buffers

Land use zones for the Chateau Lake Louise, Deer Lodge and Paradise Bungalows are not shown on the Land Use Map. Specific requirements for these commercial operations will be addressed through lease adjustments and development proposals that are consistent with these guidelines.

The following zones are identified for the Hamlet:

## Residential

- identify reserve areas to address unanticipated needs; these are to be developed only if absolutely essential
- permit medium and/or high density residential development in the following areas:
  - the Temple, Fairview, Pinnacle area
  - the Charleston Skiing Louise Site
  - Pipestone
  - Saddleback, areas along Village Road, and Moraine Circle
  - CPR lands
  - Harry’s Hill

## Environmental Reserve

While there may be trails and picnic sites in these zones, their primary purpose is to provide green space and contribute to ecological objectives. No new development will be permitted and every effort will be made to restore or enhance the environment in these areas.

## Environmental Reserve “A”

Trails are allowed in this sub-zone, however picnic sites are not permitted.

- all areas immediately adjacent to Lake Louise Drive
- part of Pipestone
- the area around the Trades Complex and Parks Canada’s Compound
- areas within 30 m of the Pipestone River

## Environmental Reserve “B”

Trails and picnic sites are allowed in this area.

- a new picnic area immediately behind Samson Mall and the Information Centre

## Outdoor Recreation

These lands may be used to support community recreation and social needs.

- recreation grounds (soccer field, tennis courts, ball diamonds, skating rink, etc.)
- tennis courts at Harry’s Hill

## Historic Railway Gardens

Because of their historic importance, the Railway Gardens are a separate zone.

## Railways

These lands are used to support railway operations

## Utility Infrastructure

- the telephone building

## Industrial

The primary purpose of industrial land is for storage, maintenance facilities, and other industrial needs.

- the Trades Complex
- the Parks Canada Compound

## Public Parking

- the Samson Mall and Information Centre parking lots
- the area behind the Esso Station
- the area south of the skating rink
- the area south of the Mountaineer
- a portion of land to the west and north of the Hostel

## Institutional

These lands are for public services (e.g., emergency services).

- the RCMP Building
- the Information Centre
- the Community Centre
- the Medical Clinic

## Commercial

### Retail/services/restaurant

- the Samson Mall retail area
- the gas stations
- the former train station

### Overnight Accommodation

- Lake Louise Inn
- the Mountaineer
- the Hostel
- the Post Hotel



LAND USE

- RESIDENTIAL
- COMMERCIAL
- INSTITUTIONAL
- RAILWAYS & UTILITIES
- HISTORIC RAILWAY GARDEN
- ER

 ENVIRONMENTAL RESERVE
- ENVIRONMENTAL RESERVE "A" - (trails permitted)
- ENVIRONMENTAL RESERVE "B" - (trails and picnic sites permitted)
- OUTDOOR RECREATION
- INDUSTRIAL
- PUBLIC PARKING
- RETAIL/OTHER COMMERCIAL
- HOTEL/LODGE ACCOMMODATIONS
- CP RAILWAY OPERATIONS
- UTILITY INFRASTRUCTURE
- ENVIRONMENTAL RESERVE "A" - (trails permitted)
- ENVIRONMENTAL RESERVE "B" - (trails and picnic sites permitted)
- soccer fields, ball diamond, skating rink, tennis courts, etc.)





Transportation/Parking

Roads

- explore public transportation to Upper Lake Louise
- realign Village Road where it intersects with Sheol Rd. This will provide a secondary entrance to future housing, give residents more privacy, and reduce confusion for visitors. Direct traffic to Sheol Rd., not Moraine Circle.
- build a turn-around near the trades complex
- maintain a clear workable route for public transit vehicles; transit-transfer nodes will be provided at key commercial and residential locations (eg. Samson Mall, hotels, intercept parking, Saddleback, etc.)
- use stoplights as a last resort
- set up a program to measure vehicle and pedestrian traffic at key locations (i.e., four-way stops, the road to Upper Lake Louise, the Upper Lake Louise parking lot, Lakeshore Promenade). Although it is not in the study area, the Moraine Lake parking lot should be included. Monitor trends.
- minimize the impact of traffic on residential areas
- limit the number of access roads, lane ways and ramps into sites without compromising requirements for emergency and service vehicles. Preserve sight lines on major roads and intersections.

Parking

A review of long term parking requirements, including day use parking, will be included in transportation planning.

- [prohibit any expansion of the public parking lot at Upper Lake Louise](#)
- [keep the area used for surface parking to a minimum by requiring the construction of parking structures \(underground or underneath the structure\)](#) where important to minimize the footprint of development
- [restrict new surface parking lots to disturbed areas](#) wherever possible
- ensure parking is easy to find and reflects use limits in the area
- discourage parking along roads
- designate specific parking areas as “Guest Parking”, “Parking for the Disabled”, “Visitor Parking”, “Staff Parking”, and “Loading Area Only”

- designate specific areas as “No Parking” where required
- clearly mark parking lines in white on asphalt parking lots
- remove abandoned vehicles and machinery
- prevent the use of RV’s, motorhomes, campers, or trailers for overnight accommodation on commercial or residential sites. Only guests staying in the fixed roof accommodation may park these vehicles on the site.
- allow commercial vehicles (that are directly associated with the operations primary business) with a capacity or rating equal to or greater than three tonnes, any type of construction machinery or equipment, and buses to park on commercial leaseholds only if they are well screened from roadways. Prohibit parking these vehicles on any street or residential lot.
- Prohibit operation of vehicles used to transport people or goods or to provide services (taxis, buses, delivery vehicles, tow trucks, etc.) from a residential area. Prohibit parking of these types of vehicles in a residential area overnight unless the vehicle is also used as personal transportation and have a capacity or rating of less than one (1) tonne.
- if public transportation systems are developed, then consider allowing commercial buses to park overnight at these parking areas

Residential Parking

- minimize surface parking where practical
- require underground or underneath the structure parking for new medium density housing where it is essential to address density issues and minimize the footprint of development
- require parkades or underground parking for new high-density residential housing where essential to minimize the footprint of development
- vegetate and screen surface parking lots

Commercial Parking

- require parking strategies in development proposals
- require parkades or underground parking where essential to minimize new surface area disturbance
- ensure a minimum of two percent of guest parking is barrier free

Parking Spaces and Aisles

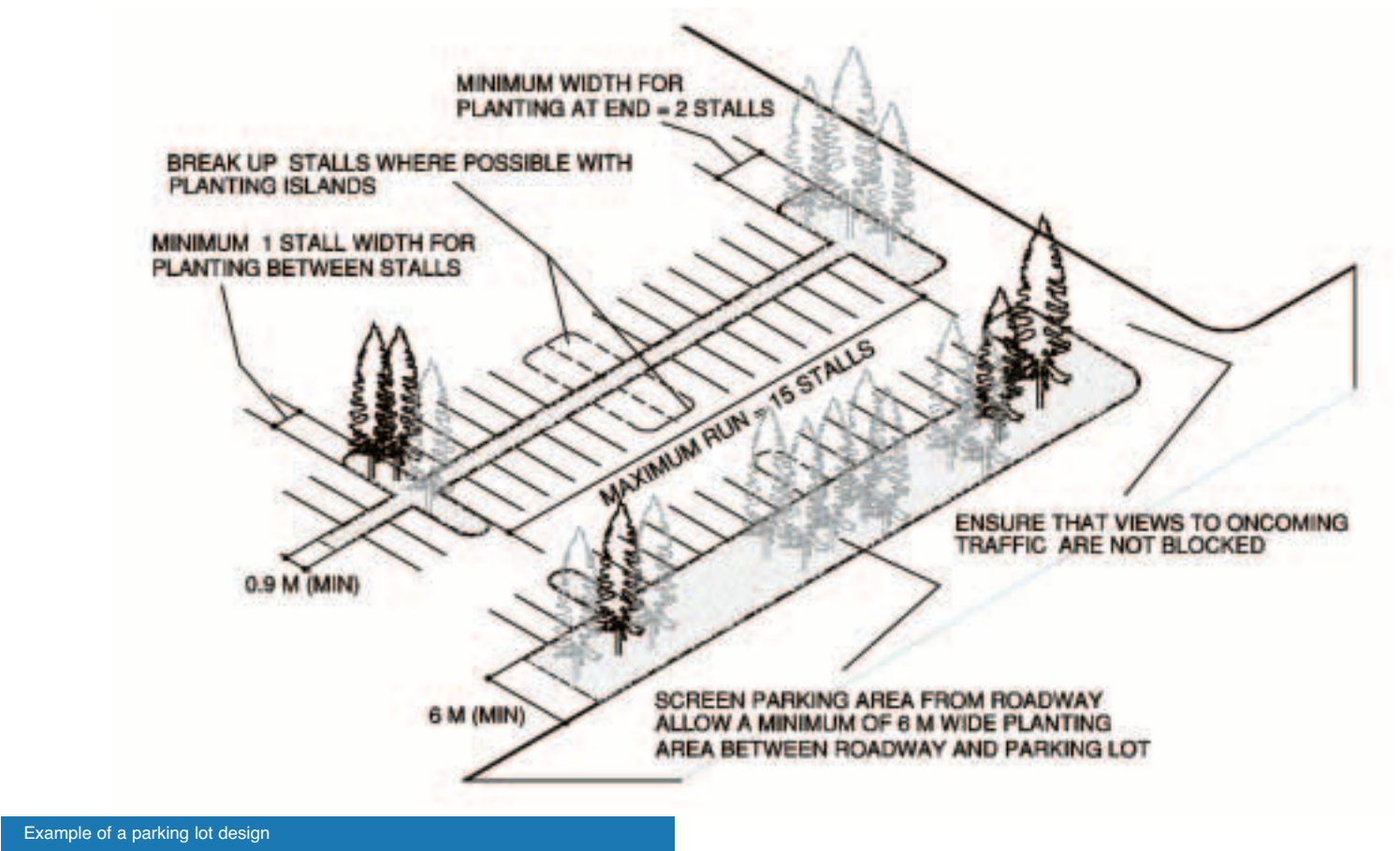
- screen parking areas with a combination of trees, vegetation, masonry, wood and berming
- ensure edges of access roads and parking lots are clearly defined

- design all dividing curbs and bullnoses defining parking rows as planters and ensure they are not less than 0.9 m wide from inside edge of curb to curb
- ensure parking stall runs do not exceed 15 cars on both sides without a minimum of one stall width for planting
- ensure entrances to underground parking are heavily landscaped without compromising a driver’s view of oncoming traffic and their ability to find their way easily

Pedestrian Circulation

- [provide a continuous system of well-marked trails and sidewalks that link the community’s facilities and services](#) and encourage people to explore the Hamlet on foot; the pedestrian network will include:
  - safe, clearly marked pedestrian crossings
  - adequate signs
  - pathways that are separated from roads
  - appropriate lighting
  - universal accessibility
  - link to designated trails outside the community
- provide a central, pedestrian-oriented village focal point
- clear priority high traffic areas in winter. Trails must be wide enough for snow clearing machines such as tractor mounted brooms.

- emphasize pedestrian circulation as part of overall site design
- use natural material wherever possible for trail surfaces. Restrict asphalt and concrete to extremely high traffic areas. Use materials that are easily maintained and appropriate for the trail’s intended use
- ensure trails are wide enough for bikes and pedestrians - 1.2 metres minimum
- ensure less used trails are narrow and winding
- use compatible designs and materials for vehicle access and pedestrian access
- give priority to pedestrians at commercial operations and hostels. Architectural elements, signs and lights shall reflect the predominantly pedestrian scale of the site.
- trails in the hamlet need to be integrated with trails immediately adjacent to the community. As human use strategies for the area are developed, there may be a need to make some adjustments to the trail system. The proposed trails (on page 25) will need to be reviewed within the context of the broader human use strategies for the Lake Louise area.



Example of a parking lot design



# PEDESTRIAN CIRCULATION

- EXISTING PEDESTRIAN PATHWAYS
- PROPOSED PEDESTRIAN PATHWAYS
- PROPOSED PICNIC SITES
- PROPOSED UNDERPASS





## Site Planning

The design process must begin with a careful analysis of the site, its natural surrounding and existing patterns of use. The following components of site planning shall be applied to all sites.

### General Principles of Site Design

Lake Louise’s exceptional scenic vistas, limited developable areas, and short summers make it especially important to take care in the placement and layout of buildings.

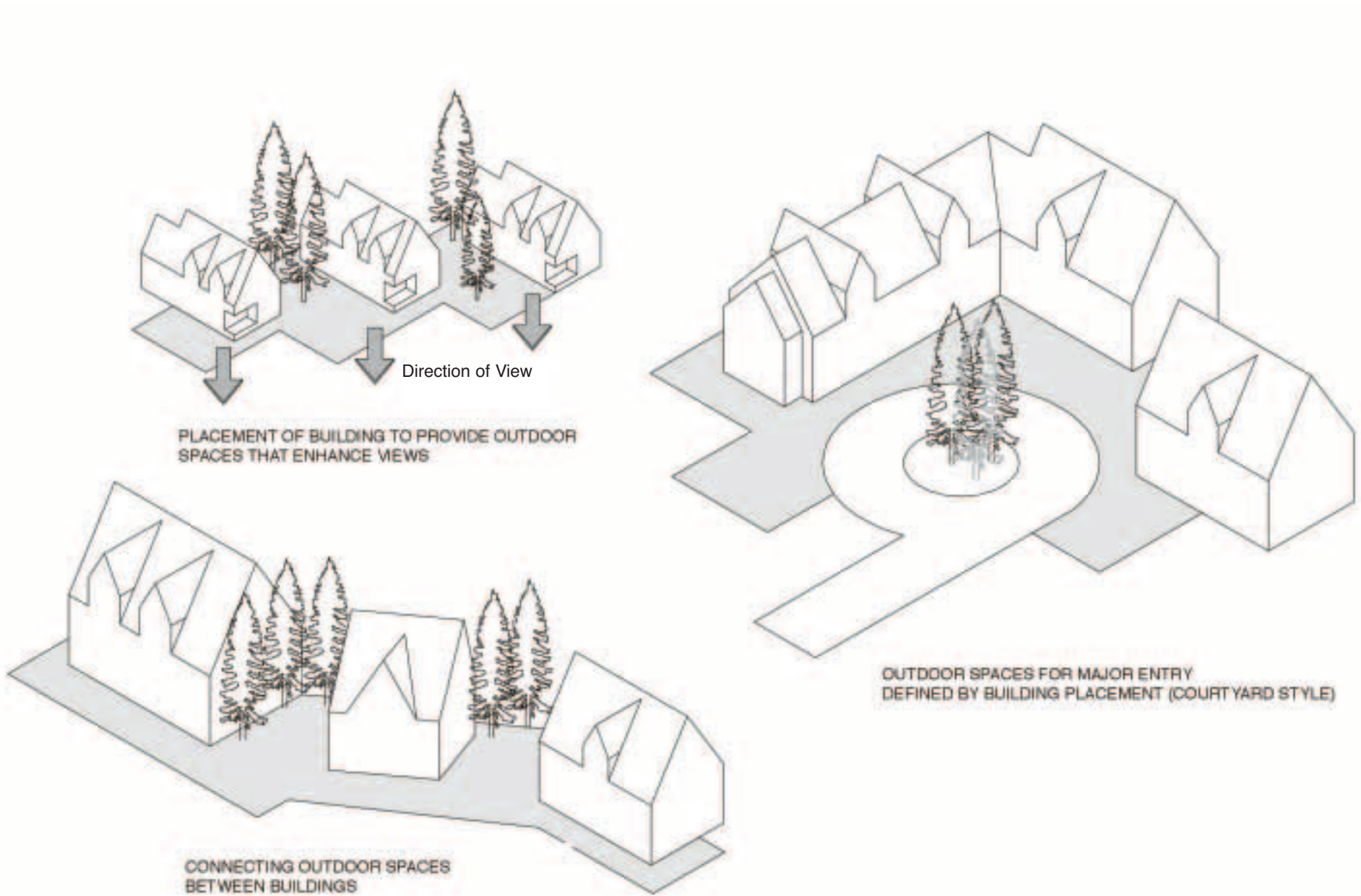
- ensure site design strategies protect all existing landscape during the course of construction and operation
- document the species and location of vegetation before excavating, trenching, and installing infrastructure
- promote southern or western exposures. This will provide sunlight in public areas year-round.
- maintain the sites natural drainage patterns to ensure that runoff does not affect adjacent properties or creeks and other water bodies.
- avoid drainage patterns that cause erosion
- prohibit significant grade changes and other modifications to terrain
- include snow storage areas in the site design of year round operations
- include all structures in site design; hide all auxiliary structures with natural or approved built screening; provide sufficient service access

## Building Location

- preserve significant views to and from the site. Views must also be considered in the orientation and location of roads, pathways and other landscape features.
- avoid negative impact on adjacent properties
- ensure distances between buildings comply, at a minimum, with building codes

## Outdoor Spaces

- include outdoor spaces in the design of both staff and guest units
- provide visual and physical buffers between buildings. Wherever possible, use buildings to create space rather than simply occupying it.
- ensure outdoor spaces provide opportunities for recreation and leisure without compromising the ecological or visual integrity of the setting





# Architecture

The variation in form and style of Lake Louise’s architecture contributes to its unique and attractive character. While general guidelines are required for all redevelopment proposals, the design requirements need to be, for the most part, site specific and sensitive to the requirements of individual locations and their landscape.

New development should draw inspiration from historical buildings both on site and in the region. The built heritage of the Canadian Rocky Mountains, with its emphasis on craftsmanship, rustic natural materials and integration with the grandeur of the place provides an appropriate context for new development.

New architecture should be informed by elements from the past and attempt to express a physical link to the cultural heritage of the park. It should not attempt to imitate historical styles but, rather, should be inspired by them to reinterpret the past in a modern style. Architects should build in a timeless manner rather than stylistic mannerisms that will quickly be outdated.

In most cases, the built environment should attempt to be unobtrusive, stepping lightly both visually and ecologically. With few exceptions, the preferred approach is subtlety, care and skillful interpretation. These are characteristics of a mountain architecture appropriate to the national parks.

The character and form of mountain style architecture ranges from the stereotypical "Swiss Chalet" alpine architecture imported from Europe, to the North American "Rustic" styles. The mountain architectural style is characterized by the following:

- natural materials such as stone and wood
- colours from the surrounding landscape
- deep roof overhangs and recesses in walls, doors and windows to take advantage of the natural light and shadow and to provide protection from snow and ice
- simplified roof forms and building volumes
- porches, verandahs, dormers and single storeys that add visual interest, break down the scale, and allow a practical transition between the building and the landscape
- exposed structural elements such as columns, posts and beams, brackets, trusses, and projecting rafters under roof soffits
- the simple treatment of details around windows and doors, and restraint in architectural decoration

These guidelines support the continued evolution and preservation of the regional mountain architectural style. They are based on an assessment of the existing architectural and landscape characteristics, and a review of previous architectural motif guidelines.

Businesses are encouraged to be innovative in the interpretation of the styles outlined in this report. However, in order to protect and preserve the historical character of many of the existing structures, an emphasis should be placed on well-designed and detailed architecture that provides continuity as well as innovation.

## General Principles

The following principles affect all building designs and architectural components and should be applied in conjunction with the site planning principles on the previous page.

- require all new construction and renovations to enhance the character and scale (e.g., placement, height, detail) of existing development
- require buildings to be secondary and complimentary to the natural setting

- avoid symmetrical urban designs. Buildings should not be positioned in straight lines and must not be overly repetitive.
- avoid architectural gimmickry and over use of detailing
- apply environmental stewardship principles to new development and redevelopments (see A Place For Environmental Stewardship - Part V)

### NOTE:

The unique situation of the Chateau Lake Louise demands special consideration. The history, scale, and character of the existing development are vastly different from all other commercial operations in the Lake Louise area. Therefore, the general architectural guidelines in the following sections do not apply to the Chateau. Instead, specific recommendations for the commercial development at the hotel are identified in later sections. These include, among others, detailed requirements for the proposed Meeting Facility and landscape rehabilitation. While the Meeting Facility and general hotel development are largely exempt, the general architectural guidelines do apply to the proposed new staff accommodation.



Example of mountain style architecture - smaller structure



Example of mountain style architecture - larger structure



Architectural Guidelines

These guidelines ensure new development is consistent with the architectural objectives for Lake Louise. Because a combination of many factors produces the overall architectural expression, structures must integrate each component in their design. These general guidelines apply to all residential, commercial, and industrial developments. The site maps in Part IV provide specific parameters for individual sites.

Mass and Scale (see also Height)

These guidelines are intended to make sure a building’s form and scale do not dominate the natural landscape.

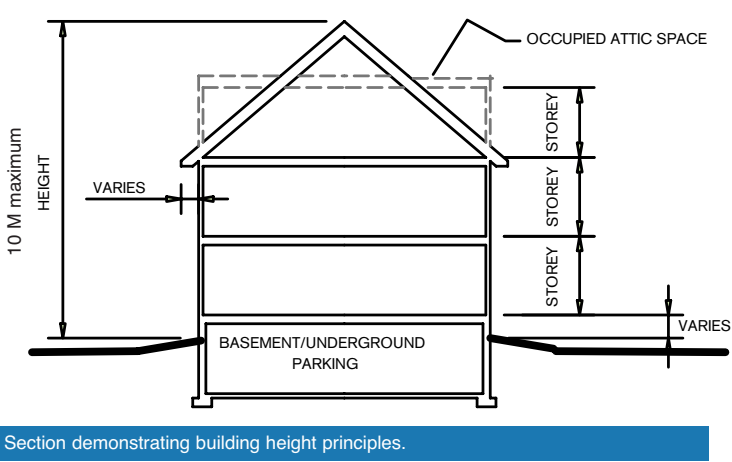
- vary the length of building facades by changing planes or walls and varying the form of the roof. Known as articulation, this adds visual interest to a building and keeps it from becoming overpowering.
- ensure no wall plane exceeds 12 m in length. Articulation of the elevation provides a means to reduce the impact of massing and scale, particularly on large buildings.

- break up large developments into smaller buildings when possible where it can be achieved without significantly increasing the amount of surface area to be disturbed
- reduce footprint and height by utilizing attic space where possible

Building Height and Location

- restrict building height to three storeys -- two full floors and the use of the attic as the third floor.
- restrict the Chateau and the Charleston housing complex to the height of their existing buildings
- encourage the use of two-storey roofs on three-storey buildings
- emphasize infilling and consolidation of structures. Restrict development to the smallest possible site coverage
- limit the height of buildings to protect and enhance important views of natural and cultural features

The following diagrams and photographs illustrate acceptable building elements.



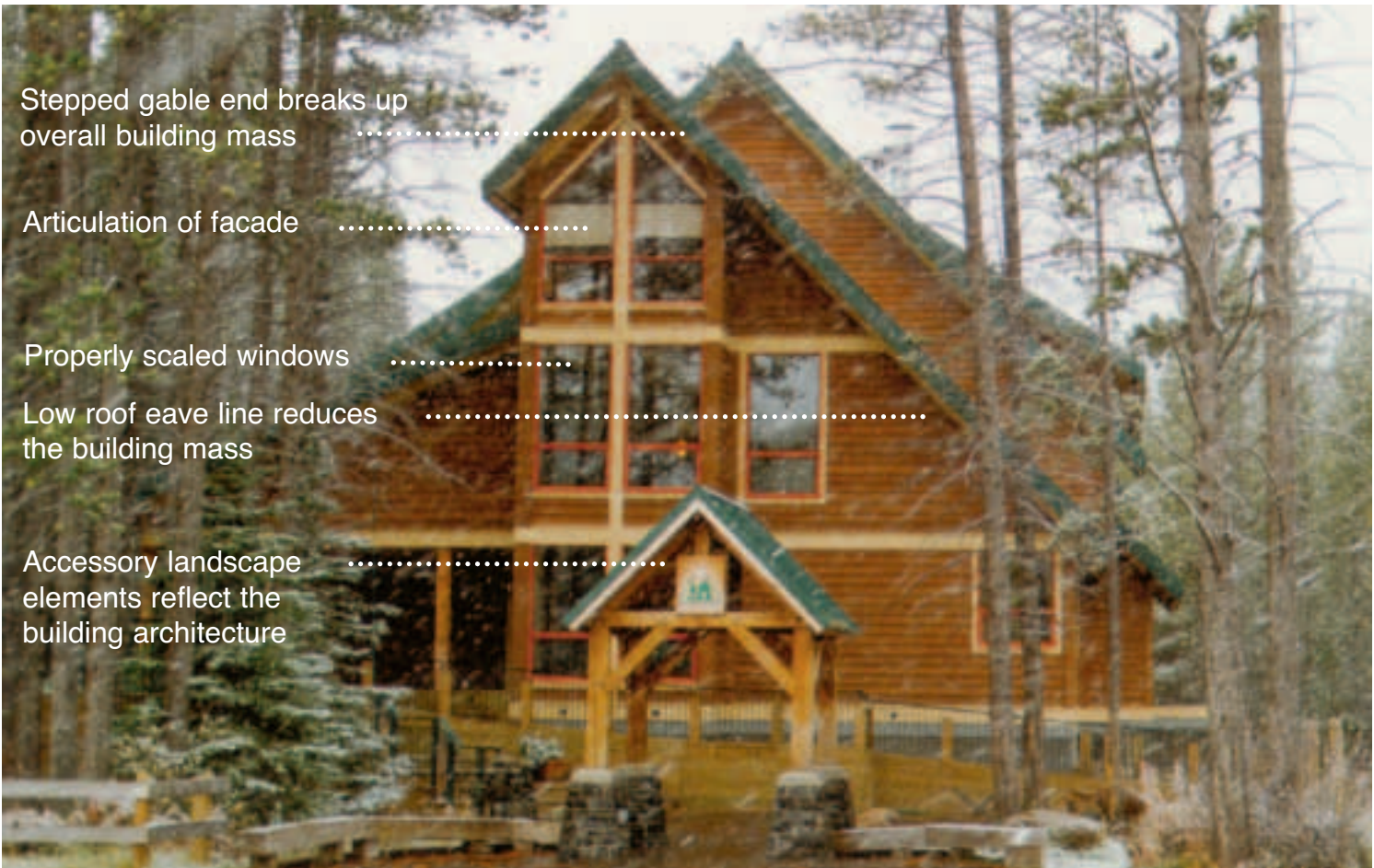
Section demonstrating building height principles.



Variations in roof line help reduce building mass and height.



Large staff housing development broken into smaller buildings. Example of articulation to reduce the impact of massing and scale.



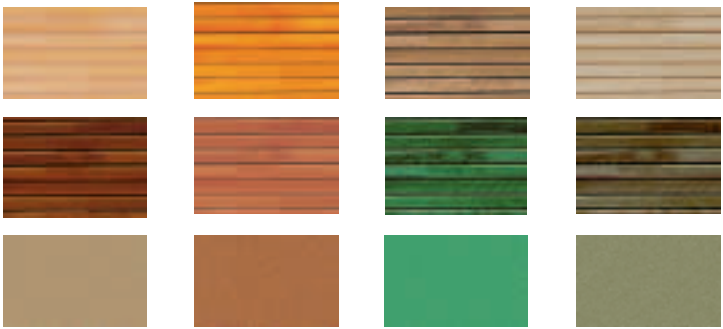


Colour

Colour selection can radically alter the appearance of a building. The use of colour should follow the natural palette of the surrounding landscape, and refrain from incongruous colours such as white, pink, or pastels. Acceptable colour palettes are as follows:

Recommended Exterior Wall Colours

Colours for exterior walls are limited to the earth tones, ranging from natural browns to dark greens.



Recommended Roof Colours

Roofs must be left in the natural colour of the material or painted in the limited palette green or brown. White and light colours are prohibited. The red roofs at the Post Hotel are an anomaly that should not be repeated at other sites.



Recommended Trim Colours

Trim colours should be used to accent architectural details, windows, and doors. Colours should follow the same colour palette as exterior walls but may be darker and brighter. Colours of trees and foliage is appropriate for wood finishes and trim. White is not recommended.



Example of appropriately coloured building.

Materials and Architectural Components

The following comprehensive list of recommended building components and material finishes is consistent with the mountain architectural style.

Roof Styles and Components

Roof design must address both safety (e.g. ice and snow accumulation) and aesthetics. Ensure recommended roofing materials and assemblies meet all fire resistance rating required by provincial and national codes.

- step roof down to reduce overall building mass, where possible
- ensure sloping roofs have a moderate pitch of between 8 in 12 and 12 in 12 and are in keeping with the roofs of adjacent buildings
- accept a combination of sloped roof and flat roof if the sloped roof is the predominant form

Roof Types

The following roof types are recommended:

- gable roof
- hip roof
- hipped gable roof

In combination with the recommended roof types, the following roof types may be used for dormers and cupolas only:

- gable roof
- hip roof
- shed roof

In certain situations, minimal flat roof areas may be considered.

In the case of renovations to existing buildings that are recognized as historic structures, styles and materials shall match existing. Match all soffit and fascia details where possible.

The following roof types are **not** recommended:

- gambrel roof and variations
- mansard roof and variations
- flat roof (except as noted above)



Trim colour complements exterior wall and roof colours.

Recommended Materials:

- coloured metal standing seam (or batten seam)
- copper
- sawn wood shingles (with fire retardant treatment)
- split wood shakes (with fire retardant treatment)

The following roofing materials are not permitted:

- concrete or clay tile
- built up roofing
- prefabricated roofing systems
- fabric structures

Metal Trim and Flashings

- ensure flashing, fascias, soffits, roof vents, chimney and flue projections, snow guards, gutters and downspouts complement the predominant roofing material
- ensure fascia trim details (wood or metal) match the colour scheme and reflect the mountain architectural style
- prohibit the use of galvanized metals for flashing, vents, flues and trim. Factory painting of this type of item is recommended.

Soffit

- prohibit vented aluminum soffits because of the limited colour selection

Eavestroughing

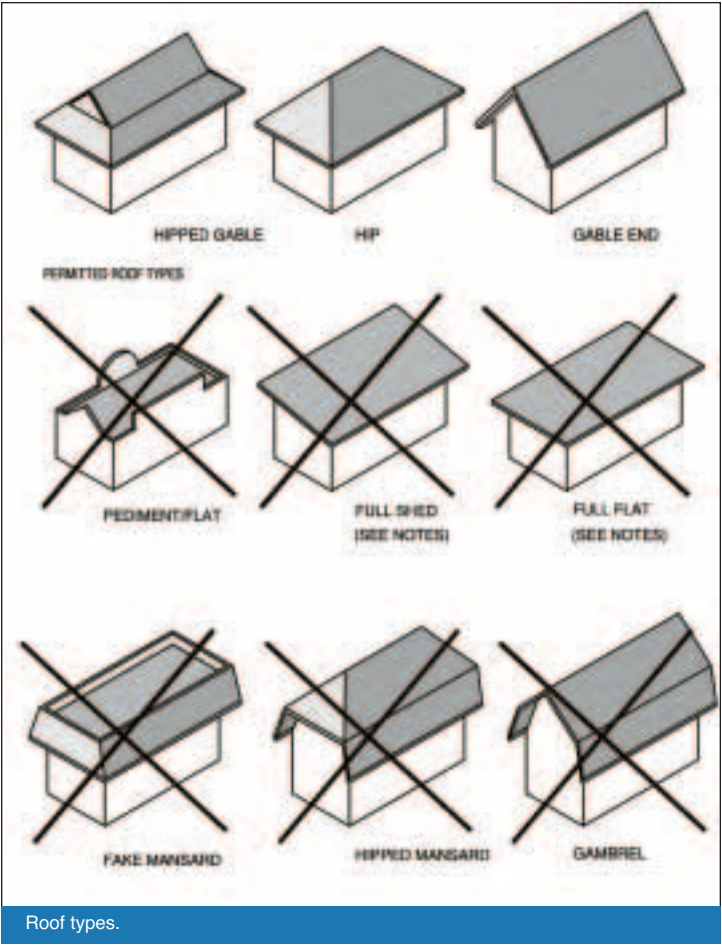
- ensure that drainage away from buildings is consistent with the overall drainage plan
- ensure eavestroughing matches or complements the building's colour and materials

Roof Ventilation

- encourage the use of ventilation dormers, cupolas and continuous ridge venting
- ensure roof ventilation devices are appropriately scaled to the overall roof volume and contribute to the visual quality of the roofline
- ensure fireproof materials and techniques are used.



Metal roof.



Split wood shakes.



Sawn wood shingles.



**Exterior Finishes**

The selection of finish materials should reflect careful attention to scale and texture. The mountain style offers a diversity of architectural expression that allows combinations of finishes to be used. The appropriate use of exterior materials and colours will contribute to the integration of the building in the landscape.

- prohibit broad expanses of stucco. The use of a stucco exterior finish shall only be permitted in combination with other approved materials and shall not exceed 10 % of the total net area of the exterior wall. Recommended finishes for stucco shall be float or wet dash texture.
- scale natural stone veneer to the overall building both in size of stone, as well as type and size of joint used. Stone veneer should match existing projects and/or local stone color and texture.
- finish large areas of exposed concrete walls (e.g. basements, underground parking, retaining walls, etc.) with natural stone veneer, sandblasting, or exposed aggregate. Allow parging of basement walls if the concrete is not more than 0.3 m above finished grade.
- limit approved exterior finishes on a single development to a maximum of three different types
- ensure wood siding corners are either mitered or finished with corner boards appropriately scaled to the overall building. Prohibit pre-manufactured metal corners.
- prohibit the use of prefabricated exterior moldings or extrusions
- match the colour of exterior caulking to the adjacent materials

*Recommended materials:*

- horizontal or vertical wood siding
- board and batten wood siding
- sawn wood shingles
- split wood shakes
- natural stone found in the area
- logs

*The following materials are **not** permitted:*

- aluminum siding
- materials simulating wood or stone textures
- metal cladding
- curtain wall systems
- precast or tilt up concrete systems
- brick masonry
- split face or smooth face concrete masonry units (unless detailed with a finish material recommended above)
- precast concrete products embedded with stone material
- exterior plywood or hardboard products
- exterior "outsulation" (prefinished products)



Full log construction and vertical wood siding.



Full log construction.



Split log siding.



Combination of wood siding and logs.



Horizontal and vertical wood siding with natural stone.



Window and Door Styles and Finishes

The design of windows and doors should reflect the simplicity of the mountain style. Windows are traditionally rectangular or square with glass divided by full muntin bars. Windows can be combined to create banks of windows to provide definition to the building elevation. Doors should be designed simply and fit well into the overall ensemble of the window style.

Windows

- prohibit the use of irregular shaped windows, or window styles that are not in keeping with the overall mountain style aesthetic. Window shapes should be square or rectangular. Triangular windows may be permitted under certain circumstances.
- require window bays to be square. The use of angular or bow bay windows is not in keeping with the Mountain style.
- define windows with muntin bars that are wider than 25 mm. The use of applied muntin bars will be prohibited.
- use wide trim around windows to give depth and shadow to the façade. Typically, the window trim should be sized to match the width of exposed siding or predominant material.
- ensure shutter design is consistent with the overall expression of the building. Shutters shall be constructed of wood only.
- ensure skylights are consistent with the overall look of the building and do not detract from the surrounding landscape and architecture. Skylights shall be low profile and fully integrated into the roof design.
- prohibit the use of acrylic bubble or domed skylights
- limit the use of commercial window systems
- prohibit reflective or excessively tinted glass for glazing. Glass tints shall be limited to the clear or light green spectrum. Bronze, blue and azure tints are not recommended.



Horizontal sliding windows are prohibited.

Recommended Window Types

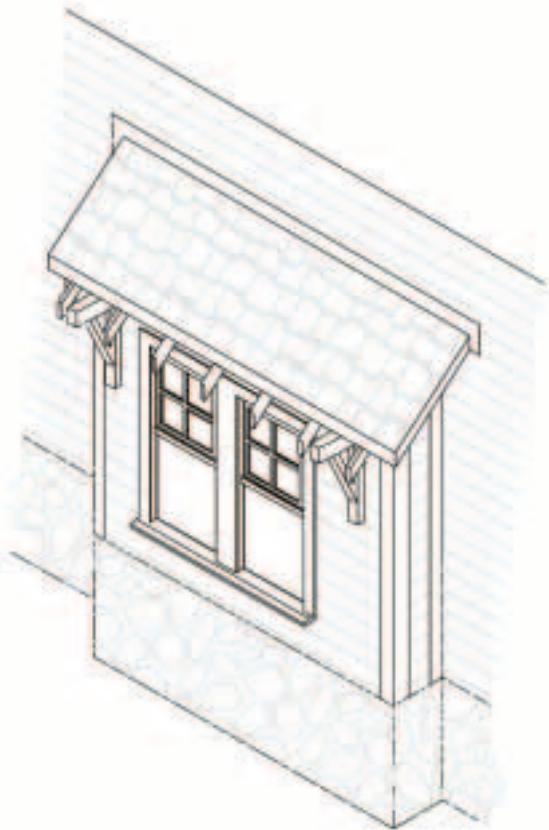
- fixed
- double or single hung
- casement
- awning

Window types **not** permitted:

- horizontal sliding
- hopper
- louver
- exterior glass block walls and lights
- aluminum and PVC sliding
- circular, semicircular, oval, and elliptical

Recommended Materials:

- wood
- metal clad, in appropriate exterior colours
- high density PVC, in appropriate exterior colours



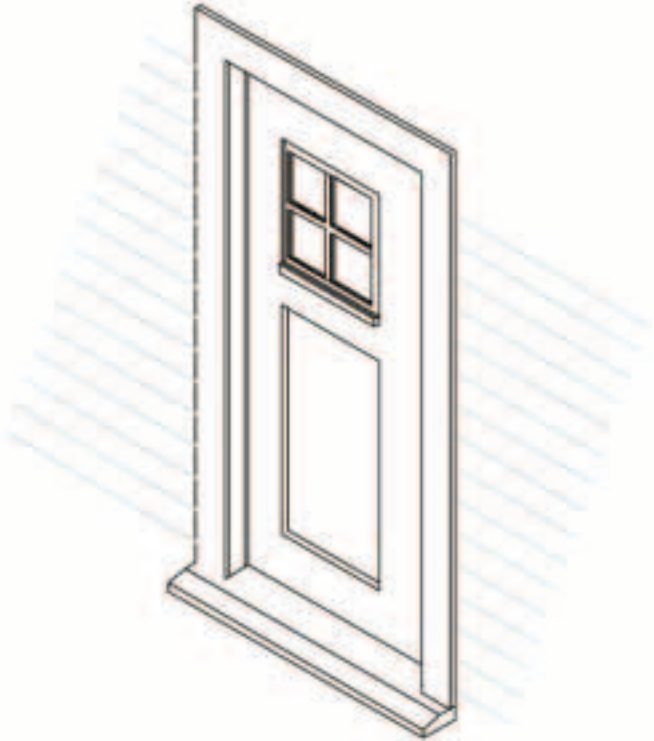
Bay windows can be used to provide scale to the elevations.

Exterior Doors

- avoid the use of pre-manufactured door styles usually associated with suburban homes
- prohibit sash or panel doors with semicircular, oval, circular, elliptical or triangular lights
- discourage the use of brass hardware or accessories
- prohibit applied muntin bars on door windows
- prohibit doors with simulated wood grain finish

Permitted door materials:

- wood
- metal clad
- pressed steel



Windows and doors should be simply detailed.

Porches, Verandahs, Decks, Pergolas and Balconies

The design of verandahs and porches is encouraged as a device to break down the scale and mass of the building.

- ensure exterior posts for either structural or decorative purposes are simple in style
- ensure the design and detail of overhead structures, such as pergolas either freestanding or attached, match the major building on site. The use of ornamentation other than simple details is not recommended.
- encourage the use of balconies. Consider providing overhead protection over a portion of the deck to create usable space in the winter. The use of plywood and exterior carpet will not be permitted. Balcony trim and flashing shall match the overall expression of the building.
- construct decks of stained wood with attention to appropriate detail. The use of radical angles will not be permitted. Decks will not be permitted to have exposed undersides on supporting columns.
- finish patios in natural stone or approved paving style
- finish exterior concrete slabs with exposed aggregate or surface stamping in coloured concrete unless deemed impractical



Balconies should have overhead protection.



**Exterior Stairs and Ramps**

- construct exterior stairs and ramps with wood, masonry, or concrete appropriately detailed with the rest of the structure
- ensure safety and durability from extreme weather conditions
- finish large areas of concrete with stone veneer

**Exterior Handrails and Guards**

- ensure handrails are made of wood or metal; are scaled to the structure; and meet all building code requirements. The use of slender rails in metal or wood is discouraged.
- ensure pre-manufactured railing and guards are simple in appearance and do not have excessive ornamentation
- discourage the use of glazed guards

**Exposed Decorative and Structural Elements**

- encourage the use of exposed wood architectural trusses and brackets
- discourage the use of pre-manufactured columns with classical motifs and capitals
- ensure column capitals and bases are simply designed. In all cases, posts shall be clad in wood or stone and finished to match the exterior finishes of the structure.
- prohibit exposed metal or vinyl clad columns

**Architectural Metals**

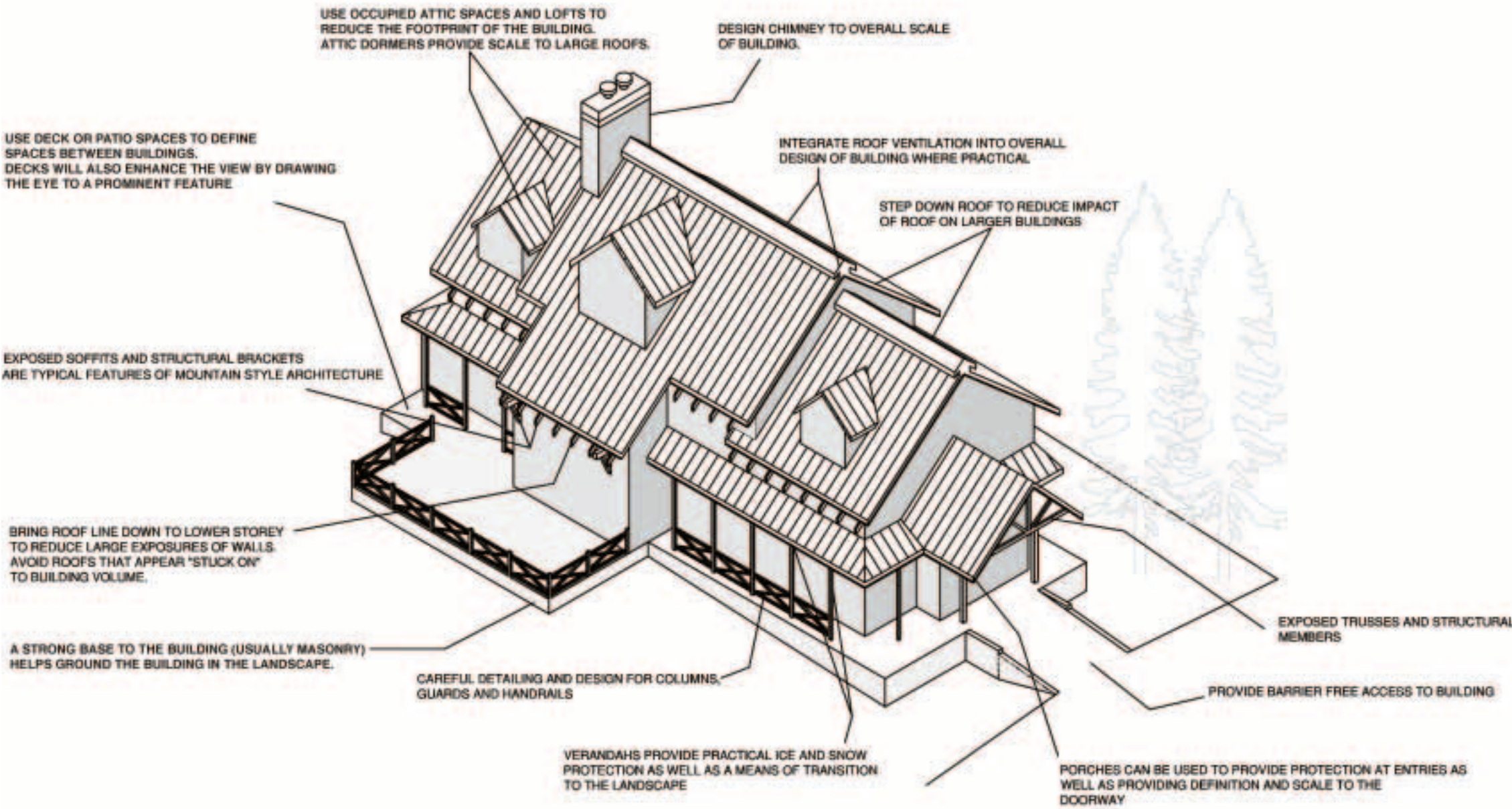
- preserve all historical architectural metalwork
- match, where feasible, historic metalwork
- ensure all metal connections and bolting are matt black, dark green or a colour that is appropriate to the overall aesthetics of the structure
- discourage the use of galvanized lumber connections

**Building Infrastructure and Components**

- locate power and gas conduits in an inconspicuous but accessible place
- finish loading dock equipment in colour that is coordinated with the overall building colour scheme
- integrate underground parking entrances and ramps with the building expression
- design open parking structures to blend with the landscape using appropriate finish materials such a natural stone veneer for walls and columns
- ensure freestanding service garages match the design and finish of the predominant architectural structure

**Barrier Free Access**

- apply barrier free requirements of the national and provincial building codes and all provincial and federal acts
- aim for barrier free access to two percent of an operation’s guest rooms





# Landscape Architecture and Outdoor Features

## Plantings and Reclamation

### Landscaping

- as part of any application for development detailed landscape plans that address all areas associated with the operation are required
- plant native species in natural groupings (e.g. no rows of evenly spaced trees) wherever possible
- use vegetation, not structures, to screen undesirable views, soften the appearance of buildings where possible, and to help integrate development into the natural environment
- rehabilitate disturbed areas
- establish a budget for landscape improvements
- locate new development so it does not disturb natural vegetation growing more than 3m beyond the edge of all structures and more than 2m beyond the edge of roads, and parking areas
- maintain vegetation buffers along roadways wherever possible
- preserve as many specimen trees as possible within a development
- encourage low maintenance landscaping to promote environmental stewardship

### Native Species

- use native species to landscape all new development and to restore all disturbed sites
- plant native species that animals do not find palatable in order to discourage large mammals from entering developed areas
- protect native plant communities

The appendix contains a list of species that are appropriate for the area and rates their palatability for ungulates.

### Non-Native Species

- regularly identify noxious weeds and other problem plants
- implement an aggressive program to control/eliminate species that pose the most serious threat to the ecosystem

- encourage low maintenance landscapes that support environmental stewardship; avoid manicured landscapes with exotic species that have the potential to spread to adjacent park lands
- encourage owners of cultivated landscapes to replant their properties with native species over time except where there is an important historical precedent (e.g. railway station)

### Undesirable Views

- use plants to screen utility boxes, garbage bins, propane tanks, storage areas, loading docks, exposed mechanical or electrical roof top units, etc. On occasion, fencing, walls or other design elements that complement the overall design may be used in addition to plants.
- plant at least 80% of the vegetative screen with evergreens to provide coverage year-round

### Pedestrians

- use dense clusters of large plants to prevent pedestrians from walking through unsafe or environmentally sensitive areas
- use plant materials to accent entrances

### Defining Space

- use vegetation to define outdoor spaces and edges (e.g., pathways, lanes, plazas, etc.)
- locate plants carefully so they do not interfere with important views

### Integrated Pest Management (IPM)

One of the major goals of IPM is to reduce chemical use and at the same time keep pests at acceptable levels. No attempt is made to completely eliminate pests but rather to contain them within limits. By selecting suitable species and relying on careful cultivation, IPM produces healthy vegetation that can ward off weeds, pests and pathogens.

Fertilizers and herbicides are not prohibited, but their use is discouraged and far more selective than in traditional management techniques. Pesticides are also used very selectively. Every effort is made to target a specific pest and to limit damage to other species by using a *minimum* amount of pesticide. Spraying is only done when absolutely necessary and pesticides are not used to prevent infestations.

- adopt an IPM approach to managing landscapes that require cultivation and maintenance
- establish acceptable levels of pests for different areas and identify the maintenance required to achieve those levels
- reduce, and eventually eliminate, the use of chemicals by promoting techniques such as hand weeding, mowing, or burning
- monitor pest levels regularly
- train grounds maintenance staff in the methods of IPM



The use of ornamental plants that have the potential to spread or attract wildlife is discouraged.



Propane tanks should be screened with vegetation.



Limit the use of turf grass.



Hillside in need of reclamation and additional reforestation.



Landscape Projects

Approximately 37 hectares (92 acres) of land will be rehabilitated within and around Lower Lake Louise. These projects exclude improvements on individual leases. An additional 3 hectares (7.4 acres) of disturbed land will be rehabilitated in Upper Lake Louise (not shown on this map).

- 1. Slope revegetation and restoration.
- 2. Fairview roadside revegetation to restore disturbed areas, screen developments, and direct pedestrian circulation.
- 3\*. Encourage restoration of the historic railway garden.

- 4. Riparian zone restoration. Remove the parking lot to within 30 metres of the Bow River and restore riparian vegetation.
- 5. Restore vegetation and screen future parking area.
- 6. Provide enhancement planting along road to reduce visual impact of new development and provide selective views.
- 7. Revegetate roadside verges along Village Road. Provide adequate setback for future pathways and snow storage.
- 8\*. Develop for picnic use.
- 9\*. Develop a pedestrian plaza at Samson Mall. Planting will soften the hardscape, offer shade, and lend visual interest.

- 10\*. Develop mini plazas and seating areas behind the mall.
- 11. Restore road verges along the Trans Canada Highway.
- 12. Restore riparian vegetation along the Pipestone River.
- 13. Berm and revegetate verge along the Trans Canada Highway to provide noise reduction and a visual screen.
- 14\*. Playing field construction.
- 15. Enhancement planting along road to Harry's Hill.
- 16. Revegetate along the railway to provide screening.

- 17. Rehabilitate areas outside the community that are no longer needed for community purposes (i.e. old community corral, east of sewage plant, Pipestone area, etc.).
- 18. Restore disturbed lands adjacent to railway.
- 19. Rehabilitate trailer court area once structures are removed

\* Landscape projects not included in the total area of rehabilitated land (i.e. soccer field, railway garden, plazas).





Site Furnishings

- ensure site furnishings, including outdoor seating areas, have an intrinsic rustic quality, are unobtrusive, functional and appropriately reflect the nature of the setting
- replace/install additional outdoor furnishings around the Samson Mall and the Information Centre
- work with private operators to coordinate the choice of furnishings and lights
- implement the following “Guidelines for Outdoor Furnishings”

Guidelines for Outdoor Furnishings

- Benches
- built of logs or timber with stone supports
  - rustic
- Picnic tables
- built of logs or large-cut timber (no concrete forms, plastic, or metal)
- Waste Receptacles
- powder coated
  - forest green
  - screened with plants
  - bear-proof
- Automobile Plug-ins
- installed on wooden posts
- Bulletin Board/Kiosk
- built of stone, logs or heavy timber
  - similar to signs

Fencing, Free-Standing Walls and Retaining Walls

- restrict perimeter fencing to areas where safety is a concern or to address wildlife issues
- restrict fences to 1.2 m in height; screening of garbage containers and service areas shall not exceed 2 m. Exemptions to address wildlife issues will be permitted.
- ensure that all new fencing and walls are appropriately detailed to maintain the overall character of the site. Avoid extended runs of fencing or dramatic grade changes that may have a visual impact on the site and views of the surrounding landscape.
- construct new fences with natural materials such as rundle or cobble stone, logs, or timber where practical
- prohibit the use of pre-manufactured materials for fencing (e.g. chain link, stucco, etc.)
- prohibit the use of prefabricated concrete masonry retaining walls
- preserve all historic freestanding walls that define the site’s character
- use the following finishes for retaining walls:
  - sandblasted concrete, ranging from natural to dark grey in colour, with detailed reveals
  - exposed aggregate with coloured concrete
  - natural stone veneer/monumental stone walls
- discourage the use of gabion walls
- prohibit timber treated with finishes not approved as ecologically sound (e.g. railroad ties) for retaining walls or subsurface structure
- restrict retaining walls for landscaping to under 1.2 m in height and under 2 m for underground parking ramps

**NOTE:**  
Fencing associated with reducing highway wildlife mortality, habituation of wildlife or addressing public safety issues may be necessary in the immediate area. If developed designs will strive to reflect the aesthetic criteria for the community while not compromising their fundamental purpose.



Stone wall with wood railing on bridge.



Benches made out of wood and stone.



Suitable bench made out of wood and stone.



Chain link fences are not recommended.



Appropriate picnic table.



Suitable electrical plug-in.



Signs

- ensure signs are:
  - consistent in form and style
  - pedestrian in scale
  - made of natural materials
  - used sparingly and strategically located
  - easy to read
  - durable and weather resistant
  - visible yet integrated with the natural environment
  - associated with the property where they are located
- prohibit:
  - sidewalk billboards
  - back-lit or internally lit signs
  - advertising signs, except to identify a site
  - illuminated canister-style signs

Limit signs to the following types:

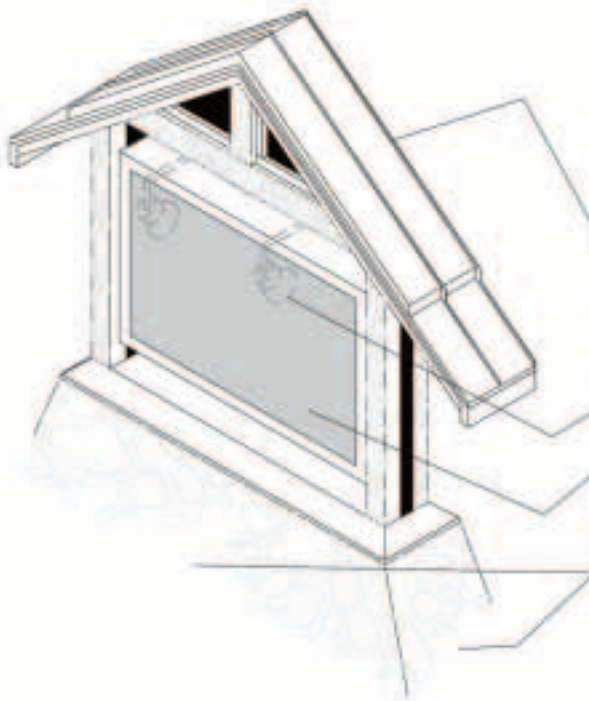
1. **Traffic** (e.g., stop, yield, speed limit, pedestrian crossing, etc.)
  - ensure the type and location of traffic signs are consistent with established standards
2. **Information/Directional**
  - place a priority on improving orientation and directing visitors to hotels, the campground, the visitor center, the train station, emergency services, gas stations, Moraine Lake and Lake Louise
  - develop a detailed sign plan and implementation strategy for the Lake Louise area for improving traffic and directional signage. Priority will be placed on safety requirements and basic visitor orientation.
  - ensure the type and location of signs is appropriate for their intended reader - i.e., motorists or pedestrians
  - ensure signs for motorists are:
    - at major intersections and along access roads as needed
    - free standing, elevated
    - a maximum height - 3 m
    - consistent with the area's colour scheme
  - ensure signs for pedestrians are:
    - at trailheads, pathway intersections, street crossings, and the Samson Mall
    - pole/post/pillar mounted
    - pedestrian in size and height
3. **Street Identification**
  - ensure street signs are located at intersections to identify street names
4. **Business Site Identification**
  - ensure site identification signs are:
    - free standing
    - placed near the edge of the property
    - a maximum size - 1.5 m²

- a maximum height - 2.5 m (allow sufficient clearance for snow)
  - carved wood mounted on a stone or wood base and/or framed with heavy timber
  - lit according to lighting standards
5. **Building and Business Identification**
- ensure building signs are:
    - incorporated into the building's facade
    - a maximum height - 0.6 m
    - a maximum width - 80% of the length of the facade
    - flush with facade; small signs (maximum 0.5 sq.m) may be perpendicular to the store entrance
    - located above store windows but not above the eave-line
    - carved wood with a motif in keeping with the style and colour of the building
    - front lit only
6. **Interpretation**
- ensure interpretive signs are simple in form and mounted on a stone base
  - ensure signs do not impede views and photo opportunities
7. **Hamlet Entry**
- develop a village entrance sign to create a focal point, to identify the community and enhance the sense of arrival (see page 55).



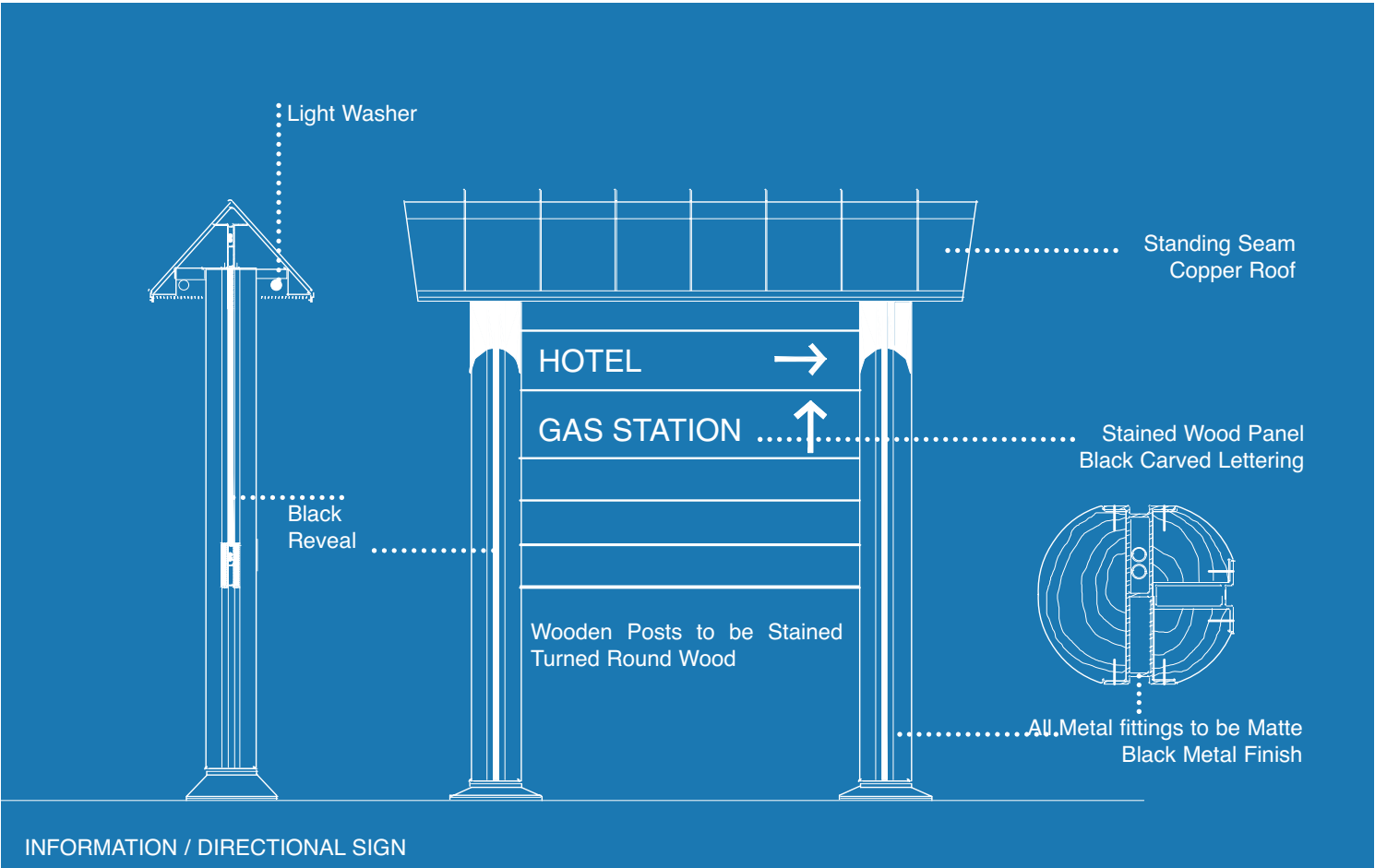
Business Site Identification Sign

Business Site Identification Sign



**NOTE:**  
At the time of completing these guidelines, Parks Canada is developing National Sign Guidelines for its facilities and services. These national guidelines will be applied in Lake Louise where appropriate and will supercede the Implementation Guidelines. The national guidelines from Parks Canada will not apply to businesses.

- SIGNAGE SHOULD BE CONSISTENT WITH ARCHITECTURAL STYLE ON SITE.
- USE NATURAL MATERIALS SUCH AS STONE AND WOOD.
- ILLUMINATE SIGN FROM FRONT ONLY
- LETTERING AND GRAPHICS SHOULD BE CARVED OR RAISED
- USE NATIVE PLANTINGS AROUND SIGNAGE

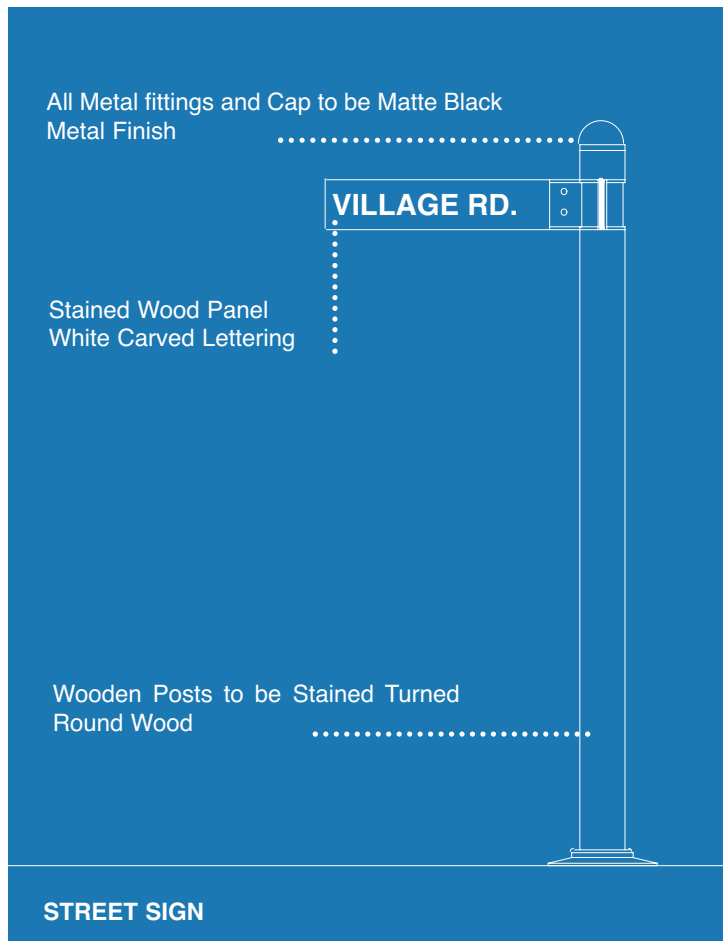


INFORMATION / DIRECTIONAL SIGN





Directional sign for pedestrians.



The proposed sign locations and information identified below represent the ideal situation. However, they will need to be carefully reviewed at the detailed planning level to ensure they can be practically implemented. It is anticipated some information may not be possible because of space and traffic considerations.

## POTENTIAL DIRECTIONAL/ INFORMATIONAL SIGN LOCATIONS



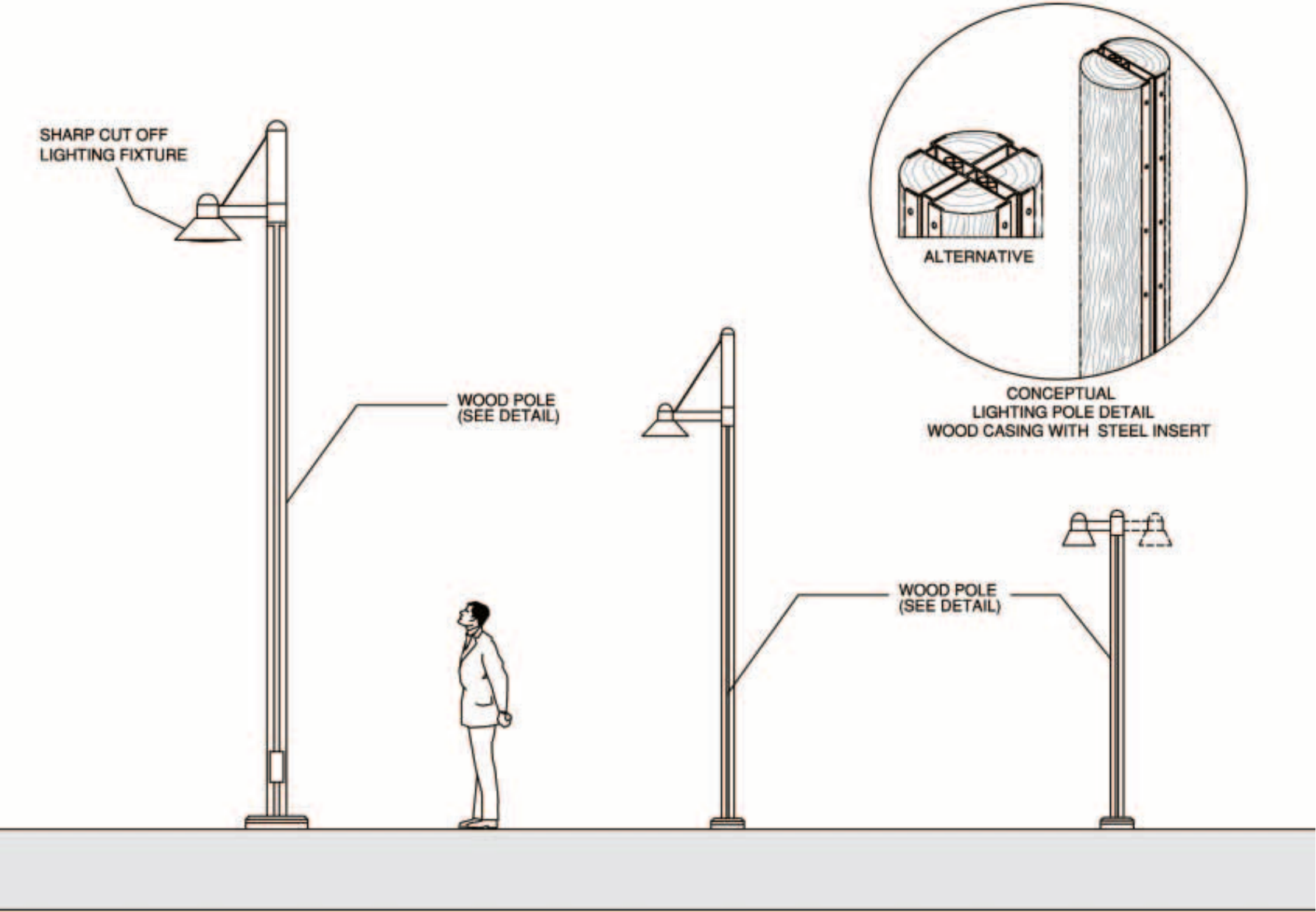


Exterior Lights

- limit lighting to that which is essential for public safety and helping visitors find their way
- encourage use of metal halide lights; prohibit low pressure sodium, sulphur, and mercury vapour lights
- provide lighting that is:
  - pedestrian in scale
  - directed downward
  - moderate in illumination and low glare
  - naturally colour balanced
  - low intensity
  - fitted with hooded bulbs with sharp cut off
  - simple, unobtrusive, consistent and uniform in style
  - mounted on poles; lights mounted on buildings should generally only be used to indicate entrances. Floodlit buildings are discouraged.
  - compatible with adjacent sources of light
- protect the ability of people to enjoy the night sky by adopting ‘dark sky’ lighting standards without compromising public safety and visitors ability to find their way

Lake Louise will limit the use of lights to the following:

- 1. Streets**
  - along all major roads, at intersections, and at entrances
  - maximum height - 9 m, except where code dictates otherwise
  - distance from edge of the road - 3 m
- 2. Parking Lots**
  - public and private parking lots
  - maximum height - 4.3 m
  - minimum spacing - 25 m
- 3. Access and Pathways**
  - maximum height - 3.5 m
- 4. Buildings**
  - to highlight specific wayfinding details (e.g, signs, access points)
- 5. Signs**
  - top lights directed down onto the sign; base lighting is permitted only if there is a sharp cutoff and light spillage is negligible







## PART III

### VISITOR AND COMMUNITY SERVICES

#### A Place for People

- Management Plan and Ministerial Direction
- Background
- Objectives
- Guiding Principles
- Heritage Tourism
- Appropriate Development & Basic and Essential Services
- Commercial Accommodation
- Commercial Retail/Restaurant/ Meeting Space

#### A Place for Community

- Management Plan and Ministerial Direction
- Background
- Objectives
- Guiding Principles
- Current Housing Issues
- Actions
- Residential Growth
- Appropriate Services



# A PLACE FOR PEOPLE

... *Services for Visitors*

## MANAGEMENT PLAN AND MINISTERIAL DIRECTION

Lake Louise will:

- serve primarily as a day use destination and visitor service centre
- offer basic and essential services and facilities that support heritage tourism and meet the immediate needs of visitors
- limit the capacity of commercial accommodation
- assign specific limits to each operator and allow them to expand to their assigned limits
- proceed with consideration of the proposal for a meeting facility at the Chateau Lake Louise
- share services with Field and Banff
- offer a limited range of overnight visitor accommodation
- manage leases in such a way that it does not encourage more intense development
- prepare a heritage tourism strategy in partnership with stakeholders from the tourism industry

*Banff National Park Management Plan, 1997*

In May 1998, the Federal Government refined the direction in the management plan by:

- prohibiting new commercial accommodation operations
- restricting commercial development by floor area ratios, occupancy rate, and limits on the number of overnight guests
- ensuring development and use provides the opportunity to enjoy high quality travel experiences based on national park values
- placing conditions on the proposed Chateau Lake Louise Meeting Facility

In June 1998, the Minister indicated that:

- new business applications and development proposals will only be considered if they can demonstrate that they are appropriate to the community and its setting in a national park
- commercial zones and maximum commercial floor space for each community will be set out in legislation requiring an act of Parliament to amend them

## BACKGROUND

Since its early days, Banff National Park has been a place for people. Lake Louise, often referred to as the heart of the park, is an international symbol of Canada and its national park system. The area’s dramatic mountain scenery and world class visitor facilities have inspired millions of Canadians and international guests.

Lake Louise, once a brief stopover en route to another destination, has gradually become one of the most popular destinations in Banff National Park. Trends such as changing demographics; interest in ecotourism; the popularity of motorcoach tours and private RVs; high levels of international visitors; high levels of day-users; increases in shoulder season travel; and more Canadians from varied ethnic backgrounds are contributing to a demand for more facilities and services.

Statistics indicate more than 20,000 people may visit the area every day in the summer. Recent research indicates that crowding and congestion may be a concern particularly in Upper Lake Louise and at Moraine Lake.

Providing quality services is a fundamental part of the national park mandate. Through improvements to individual operations, the park will protect its ecological integrity while offering visitors a variety of activities that enhance their national park experience and improve their understanding of natural ecosystems and cultural heritage.

The main visitor service issue in Lake Louise is the amount of new overnight commercial accommodation that should be permitted. The 1997 *Banff National Park Management Plan* recognizes the need for limited growth and fixed limits. Some commercial growth commitments have been made subject to meeting specific conditions, successful applications of the CEAA, meeting requirements of the **Community Plan** and *Implementation Guidelines* and the Development Review Process. Projects that have this degree of commitment are:

- Chateau Lake Louise Meeting Facility
- a total of 200 beds (guests) for the Hostel (lease)
- expansion of the railway station restaurant (Order in Council)
- provision of restaurant services for the Mountaineer Lodge (lease)

In addition to these, some growth offers the potential for site-specific ecological improvements, better protection for important cultural features, improvements to the character of individual operations, and significant heritage tourism programs that would not likely happen otherwise.

## OBJECTIVES

To provide quality visitor services and products that are consistent with the area’s role as a national park visitor service centre.

To make all visitors aware they are in a national park and foster an appreciation and understanding of the ecology of the park and its cultural heritage.

To place limits to growth on each existing commercial accommodation operator.

To allow commercial accommodation operators to expand to assigned limits if specific site conditions are met, CEAA is rigorously applied, and the benefits to visitors and Parks Canada are clear.

To maintain the existing variety of visitor accommodation.

To limit additional retail activity to existing commitments.

## GUIDING PRINCIPLES

Tourism in Lake Louise will be based on an appreciation of the nature, history and culture of Banff National Park and the Banff Bow Valley area and must not threaten the beauty and ecological integrity of the park.

Banff and Lake Louise “ . . . will help Banff National Park fulfill its tourism role as described in the Tourism Destination Model and will contribute to the ecological integrity of the park by serving as centres for infrastructure and activities.”

*Banff-Bow Valley Study, 1996*

## ACTIONS

### Heritage Tourism

Banff National Park is, above all else, a place for nature. The park’s management plan describes ecological integrity as “the cornerstone of Banff National Park and the key to its future.” However, the plan also describes the park as a place for people. A place where Canadians and their international visitors can learn about the country’s environment, history and culture.

How to protect natural resources that millions of people want to visit is a dilemma Parks Canada shares with other organizations around the world. Many popular tourism destinations have chosen to pursue the heritage tourism market, an approach that has both economic and environmental advantages. On the economic side, heritage tourism revenues in the United States are estimated at \$25 billion annually. The environmental advantages of heritage tourism are rooted in the type of people who make up this growing market. These are visitors who want more than a golf or ski vacation. While it is true they often seek adventure, they also want to learn about nature, history, and culture, and appreciate that steps must be taken to protect their heritage.

Canada’s national parks are ideally suited to this type of traveller. For this reason, the Heritage Tourism Council, which consists of representatives of the tourist industry in Banff National Park and the Bow Valley immediately outside the park, have prepared a Heritage Tourism Strategy for Banff and the Bow Valley as recommended in the *Banff National Park Management Plan*. The strategy’s objectives are:

1. To make all visitors aware they are in a national park by actively fostering visitor appreciation and understanding of the nature, history and culture of Banff National Park.
2. To encourage and develop opportunities, products and services consistent with heritage values.
3. To encourage environmental stewardship initiatives upon which sustainable heritage tourism depends.
4. To strengthen employee orientation, training and accreditation programming as it relates to sharing heritage understanding with visitors.

The tourism strategy for Lake Louise has adopted the objectives described above. In addition it seeks to integrate its approach with the broader Banff Bow Valley strategy.

“The environment is our core asset, the key component of product quality, and an increasing priority of our consumers.”

*Geoffrey Lipman, President of the World Travel and Tourism Council (1995)*



Heritage Tourism in Lake Louise

Lake Louise is a must-see for most park visitors. Many people come simply to enjoy a stroll along the shores of the beautiful mountain lake. But as anyone who lives and works here knows, the area has much more to offer. A remarkable combination of natural features tells the story of the Rocky Mountain ecosystem. The past lives in the history of the railway and stories of early mountaineers. A fine trail system offers modern day visitors a path to learning and adventure. It is by offering visitors the chance to experience this richness and learn about the area that we will protect this heritage for the future.

Tourism operators are well aware how important it is to protect the resource on which their livelihood depends. Many already have programs such as information packages for visitors, recycling facilities, and energy conservation programs. The following actions are intended to build on these initiatives in order to achieve the vision for Lake Louise. The tourism sector will have the primary responsibility for these actions; Parks Canada will provide support as needed and complement these efforts with its own programs.

Actions

1. *Adopt the Travel Industry Association of Canada's code of ethics.*

The code allows everyone involved in tourism in the Banff Bow Valley to observe the same sustainable tourism practices.
2. *Include information about Lake Louise's natural and cultural heritage in promotional material and publications.*

this includes advertisements, brochures, articles, books, menus, and other media produced by both the private sector and Parks Canada
3. *Promote awareness of Heritage Tourism among staff, media, travel writers, etc.*

develop links between the Visitor Reception Centre and the community that support heritage tourism

promote awareness through tools such as presentations, publications and other media

work with travel writers, and local, regional and national media to reach a large audience
4. *Ensure interpretive programs reflect the Heritage Tourism Strategy.*

use the Visitor Reception Centre to showcase environmental stewardship initiatives and ecological integrity issues through high quality interpretive activities (Parks Canada responsibility)

- promote the Visitor Reception Centre as the primary location for visitor information

increase the number of interpretive signs in the Hamlet and in the upper Lake Louise area. Encourage commercial operators to participate with Parks Canada to develop interpretative signs.

design interpretive programs that support the objectives and content of the strategy; this will require Parks Canada to adjust its own interpretive programs

encourage individual operators to install interpretive signs on their leaseholds

highlight special features and the cultural history of the area
5. *Include information about heritage values of the area, ecological issues and cultural resources in training programs for private sector staff.*

educate all staff on the park's role as a protected heritage area; actions being taken to protect ecological integrity and the role they can play in sustaining national parks

work with tourism operators to design training programs that help all front-line staff gain a common understanding of local heritage and of ways it can stimulate greater visitor interest and appreciation
6. *Encourage the use of heritage themes in interior design and products.*

use new construction and interior renovations to reinforce natural and cultural resources (e.g., architecture, room names, interpretive displays, signs, artwork, lighting)

create an atmosphere that reflects the area's heritage will contribute to visitors' awareness that they are in a unique and special place
7. *Encourage and celebrate environmental stewardship.*

heritage tourism depends on the integrity of the natural environment. Everyone who lives and works in Lake Louise has a responsibility for the success of environmental programs such as the management of waste, water, and energy. Refining these programs will be a key objective of the Heritage Tourism Strategy.
8. *Offer opportunities to enjoy and learn about Banff National Park at the majority of businesses.*

ask operators of commercial accommodation facilities to develop heritage tourism strategies

allow opportunities to evolve in response to the needs of changing regional, national and international markets; this will require an understanding of the demographics of the target markets and a clearer definition of those aspects that truly make the Lake Louise area unique

9. *Encourage the development and sale of products that reflect Lake Louise's heritage (see basic and essential services).*

allow demand to determine what is marketable and what is not
10. *Include presentations about the area's natural and cultural heritage in all conferences held in the Lake Louise area.*

attract conferences that deal specifically with heritage themes or products
11. *Monitor the attitude of visitors and their satisfaction with their experience in Lake Louise.*

establish benchmarks against which the Heritage Tourism Council can measure changes in visitor attitudes and experiences as a result of the *Heritage Tourism Strategy*. This will help the Council identify those experiences that best meet the needs of the heritage tourism market.

appoint a representative from the Lake Louise Community Council or from the heritage tourism community in Lake Louise to the committees responsible for monitoring products and services
12. *Maintain close relations with Field, Jasper, Banff and Canmore throughout the implementation of the Heritage Tourism Strategy.*

appoint a representative from Lake Louise to the Banff Bow Valley Heritage Tourism Council
13. *Designate someone from Parks Canada to assist in identifying the information and material (e.g., themes, messages, visuals, new research, etc.) businesses need to perform their role in the Heritage Tourism Strategy.*
14. *Participate in the Bow Valley Heritage Awards Committee.*

the *Heritage Tourism Strategy* calls for an annual awards program and fund-raising dinner to recognize heritage achievement in the mountain national parks. A resident of Lake Louise will be a member of the awards committee
15. *Convene an annual 'round table' of head lessees in Lake Louise to review and refine heritage tourism initiatives.*

participants will discuss the implementation of the actions described above, identify successes, and provide support for those who want to be more involved in the *Heritage Tourism Strategy*

Link Heritage Tourism to human use strategies developed for the surrounding region.
- Code of Ethics  
Banff-Lake Louise Tourism Bureau
- “In our policies, plans, decisions and actions, we will:
- Commit to excellence in the quality of tourism and hospitality experiences provided to our clients in the Banff Bow Valley through a motivated and caring staff.
- Encourage an appreciation and respect for the natural, cultural and aesthetic heritage of the Banff Bow Valley and surrounding protected areas among our customers, staff, shareholders, suppliers and communities.
- Respect the values and goals of our host communities and work to provide services and facilities in a way which contributes to community identity, pride, aesthetics and the quality of life.
- Achieve tourism development which will help our economic objectives to work in harmony with the protection and enhancement of the natural, cultural and aesthetic heritage of the Banff Bow Valley and surrounding areas.
- Be efficient in the use of all natural resources, manage waste in an environmentally responsible manner and strive to minimize or eliminate pollution in all its forms.
- Cooperate with other colleagues within the tourism industry and other industries, towards the goal of sustainable development and an improved quality of life for all Canadians.
- Support tourists in their search for greater understanding and appreciation of nature.
- Work with national and international organizations to build a better world through tourism.”
- LAKE LOUISE COMMUNITY PLAN IMPLEMENTATION GUIDELINES • BANFF NATIONAL PARK • FEBRUARY 2003
- 35



MESSAGES

The following messages are intended as a guide for heritage tourism initiatives by businesses, the community and Parks Canada.

Reception/Orientation

Staff will welcome visitors, answer questions and offer information about the following:

- services in Lake Louise, Banff and Yoho National Parks and Field
- opportunities to discover Canada’s natural and cultural heritage
- public safety
- attractions in Alberta and British Columbia

National Parks

- Banff is a national park and part of the Canadian Rocky Mountain Parks World Heritage site
- why the park is important to visitors and to all Canadians
- Banff is part of a nationally and internationally protected system of heritage areas
- how protected heritage areas contribute to our identity as Canadians
- Banff is part of a legacy passed from generation to generation
- the heritage themes of Banff National Park
- Canadians share the responsibility for safeguarding Canada’s family of heritage treasures
- actions to manage and protect ecological integrity and cultural resources in Banff, surrounding national parks and regional ecosystems
- people are part of the ecosystem and how they can take action to help sustain their native ecosystems and preserve cultural heritage
- ecosystem management principles
- the continued viability of tourism in the mountain national parks and its competitive advantage is dependent on the sustainability of the park’s ecosystems

Historical and Cultural Resources

- the significance of sites and structures of historical or cultural value
- nearby National Historic sites
- cultural resources are a window on the past that help us better understand who we are as Canadians
- the mountaineering history of the Lake Louise area
- the history of Banff National Park and Lake Louise are interwoven

Lake Louise Area

- Lake Louise’s role as a model national park community and the actions it is taking to contribute to the ecological health of the park and to address global environmental concerns
- natural heritage values of the area and their relationship to ecosystem principles and the actions being taken to protect them
- certain areas are particularly sensitive and require special management measures that everyone needs to respect
- how to live with wildlife

In addition to the above, Parks Canada’s programs will contribute to the delivery of its organization’s national messages.



Interpretive signs along the promenade at Upper Lake Louise provide information about the natural and cultural heritage of the area.



Guided hikes allow visitors to learn about the park.



# Appropriate Development & Basic and Essential Services

The Hamlet of Lake Louise offers visitors a selection of services and facilities. These include a Visitor Information Centre, accommodation, service stations, and a shopping mall. Because the primary mandate of Parks Canada is to protect ecological integrity, national parks cannot provide every service that visitors or residents might want. The park must sometimes limit or prohibit certain activities and services that are not appropriate in light of its mandate. This is never an easy task. In consultation with the public, the residents of Lake Louise and the area’s tourist operators, Parks Canada has developed appropriate use principles and a guide to appropriate services.

Parks Canada’s policy states that “essential services and facilities will serve the basic needs of the public, and will be directly related to the provision of understanding, appreciation, and enjoyment of the natural and cultural heritage.” (Guiding Principles and Operational Policies, 1994). In keeping with this policy, the park’s management plan determined that Lake Louise will continue primarily as a day-use destination and visitor service centre. It will offer basic and essential services and facilities that support heritage tourism, heritage appreciation and the protection of ecological and cultural resources that are the foundation of this kind of tourism.

Lake Louise serves the needs of three main groups:

- park visitors
- travellers on the Trans-Canada Highway
- residents (see A Place for Community)

## Park Visitors

Everything a visitor finds in Lake Louise must contribute to their park experience and must be consistent with the objectives of the Heritage Tourism Strategy. The design of the facilities, signs, accommodation, hospitality, and even the nature and quality of souvenir merchandise must befit the spectacular scenery and heritage of the national park backdrop.

## The Travelling Public

Lake Louise must provide basic and essential services for travellers on the Trans-Canada Highway even though these people may have only a passing interest in Canada's national parks. Lake Louise provides the following services for these travellers:

- highway maintenance
- emergency assistance
- fuel, motor oil, and some automotive parts
- emergency road service (e.g., towing, minor repairs)
- food, beverages, convenience store
- a variety of overnight accommodation

The principles that govern services for park visitors will also apply to decisions about services for travellers on the Trans-Canada.

## Appropriate Use Principles

Services and products will:

- support heritage tourism and help visitors enjoy their national park experience
- have no net negative environmental impact on adjacent lands
- have a significant, legitimate market in the park and not be intended for sale elsewhere
- will be a permissible park activity
- meet the immediate needs of visitors. Approved secondary aspects of an operation (e.g., meeting space) must foster an appreciation of the park.
- occupy as little land as possible
- complement the services provided in Field and in the town of Banff
- commit to environmental stewardship
- services will not be a value added product or service to be sold elsewhere
- respect the requirements of the *Canadian Environmental Assessment Act (CEAA)*

## A Guide to Appropriate Services

The following examples are intended as a guide to appropriate services for visitors:

- emergency services (e.g., police, fire, ambulance, rescue)
- interpretation, heritage education, and information
- accommodation -- from a campground and hostel to hotels
- retail outlets that sell basic items (e.g., groceries, toiletries, newspapers, etc.)
- retail outlets offering heritage products: photographic supplies; outdoor clothing; climbing, skiing, and hiking equipment; books on the area’s nature, history, and culture; Canadian arts and crafts that celebrate protected areas in Canada
- a variety of food services -- from bakeries to restaurants
- meeting facilities that:
  - are a secondary use of facilities whose main purpose is to provide accommodation
  - are appropriate in size to the hotel
  - play a major role in heritage tourism
- basic financial services
- liquor store
- pharmacy
- medical services (clinic)
- transportation (e.g., bus, taxi, rental cars)
- opportunities for adventure learning
- public laundromat, showers
- postal services

## Actions

- use the principles and examples of basic and essential services when evaluating applications for new businesses or changes in use
- develop an appropriate business license test to assess new applications
- ensure all businesses within a development are consistent with the appropriate use principles
- permit existing businesses that are inconsistent with these principles to continue; expansions requiring review under the *Canadian Environmental Assessment Act* or that involve a change in commercial use to abide by these principles



The Medical Clinic is an essential service in Lake Louise.



Samson Mall offers visitors a selection of services and facilities.



## Commercial Accommodation

Seven operators in Lake Louise currently provide a total of 1,081 rooms for approximately 2,400 overnight visitors. Each of these operators wants to expand. The average annual occupancy rate is estimated at 77%. During the summer, commercial accommodation is generally full.

In May 1998, the Federal Government announced the conditions for the proposed Chateau Lake Louise Meeting Facility. This development, in conjunction with room changes in the rest of the hotel, will result in a net increase of 52 guest rooms (104 overnight visitors) and add an area of 13,800m<sup>2</sup>. The facility will include hotel rooms, meeting space and a restaurant.

The Hostel's lease allows for an increase of 50 overnight guests. This will add an area of 1,200m<sup>2</sup>.



Rendering of proposed Meeting Facility.

### Guiding Principle

Growth in commercial accommodation will only be permitted if there are:

- existing commitments, or
- ecological improvements on or off site, or
- cultural resources requiring protection, or
- improvements to the character of the operation and the site (see Part II, Community Character)
- no negative measurable impacts on the ecological health of the park

The following conditions will also apply to growth in commercial accommodation operations:

- each existing commercial accommodation operator will be assigned a maximum number of guest rooms, room occupancy rate (guests/room/night), and an overnight capacity
- audits will be carried out annually. If growth approaches the limits outlined in the **Community Plan**, monthly audits may be necessary.
- an appropriate heritage tourism program will be presented to all hotel guests and staff
- all commercial accommodation will adopt an environmental stewardship program
- each operator will contribute to ecological improvements in the Lake Louise area or to ecological research/monitoring initiatives
- as a condition of development, all leases and business licenses will be adjusted to reflect new requirements -- maximum number of overnight guests, audits, type of accommodation, heritage tourism, environmental stewardship, protection of cultural resources, etc.
- commercial development will be restricted on each site by setting limits for gross floor area, commercial floor area, footprint and site coverage.

### Benefits

Allowing limited expansion or renovations of commercial accommodation will allow Parks Canada to achieve benefits in three main areas as described below. These benefits will be expected to occur at each site where they are applicable.

#### Ecological Benefits

##### 1. Reducing On-Site Development

The removal of parking lots, roadways, and buildings will reduce the amount of a site that is covered by development -- e.g., the potential removal of the large parking area at the Post Hotel.

##### 2. Returning Disturbed Sites to a Natural State

The benefit of this action is related to the size and location of rehabilitated areas. The Chateau, the Post Hotel and Deer Lodge have large areas that could be rehabilitated. Also, rehabilitating areas that are adjacent to wildlands could have important benefits for a wide range of wildlife. The rehabilitation of roadsides, landscape around buildings, and the berm along the Trans Canada is of lesser significance.

##### 3. Reducing the Size of the Leasehold

Reducing the size of the leasehold helps protect adjacent park lands and limits the impact of development.

##### 4. Impact on Adjacent Lands

Sites that reduce the impact of development contribute to the protection of the park's ecological integrity -- e.g., water sources, wildlife corridors, habitat, etc. Sites outside the Hamlet have the most potential to keep their impact to a minimum through careful management and the size of their development footprint.

#### Cultural Resource Benefits

##### 1. Protection of Important Heritage Features

Several sites have the opportunity to protect, maintain, and interpret important cultural resources (e.g., Deer Lodge, Paradise Bungalows, Post Hotel and Chateau Lake Louise).

##### 2. Protection of the Cultural Landscape

It is also important to protect the context in which cultural resources are located. For example, preserving the setting at Paradise Bungalows is important in maintaining its historic atmosphere.

#### Character Benefits

##### 1. Quality of the Architectural Expression

Improvements in the density, massing, form, colours, and materials used in a development contributes to the character of the site and the community. The condition of existing buildings and the potential for improvements at a number of operations offer a significant opportunity to enhance the overall character of the sites.

##### 2. Impact on Views to and from the Development

The height, mass, and scale of development, as well as the potential to use vegetation as a screen, all affect the visibility of a site.

##### 3. Use of Native Plant Species

Using native plant species helps to emphasize Lake Louise's setting in a national park. The Chateau Lake Louise has the opportunity to replant significant areas of manicured horticultural landscapes with appropriate native species. Sites such as Deer Lodge, the Lake Louise Inn, and the Hostel have only a moderate amount of manicured landscape.

##### 4. Softening the Impact of the Built Environment

Depending on the height and location of buildings, vegetation can be used to soften the built environment. Other considerations include the amount of landscaped area around the building, the possibility of dense plantings, and the visibility of the development.

##### 5. The Mountain Village Ambiance

An operation's architectural style can make a significant contribution to Lake Louise's mountain village ambiance. The scale, mass, form, construction materials, and overall ambiance are all important factors.

##### 6. Parking Lots, Lighting, Signs, and Outdoor Furnishings

Attention to these factors reduces the dominance of vehicles and can also reinforce the mountain village ambiance.



Commercial Accommodation Growth

A limited amount of growth will be permitted for each existing commercial accommodation operation to meet existing commitments and to realize potential benefits. As previously announced, no new commercial accommodation operations will be permitted.

Existing operators will be allowed to expand to assigned maximum limits if they clearly demonstrate they have met the conditions, principles, and benefits as well as rigorously applied the *Canadian Environmental Assessment Act* and development review process.

Commercial Accommodation Ceiling

The existing ceiling of overnight visitors staying in commercial accommodation is reduced to 2,700.

Commercial Retail/Restaurant/ Meeting Space

- allow hotel expansion of basic gift shops, restaurant services and meeting space for their overnight guests. These facilities must be appropriate for the size of their operation, reflect density guidelines and appropriate use principles
- the Mountaineer will be allowed to re-establish a restaurant as per its lease (130m²)
- beyond existing commitments, hotel requirements, and Samson Mall, no new retail nor restaurant space will be permitted
- prohibit gas station expansion

Samson Mall

- prohibit an increase of commercial space (including underground)
- permit use of existing unoccupied mall space as long as additional parking requirements are addressed
- allow underground parking
- improve the area’s ambiance and highlight its importance as a focal point for the community (e.g., improvement to the landscape and exterior space)

Train Station Area

An Order in Council guides redevelopment of the heritage railway station. The railway gardens are also an important cultural feature.

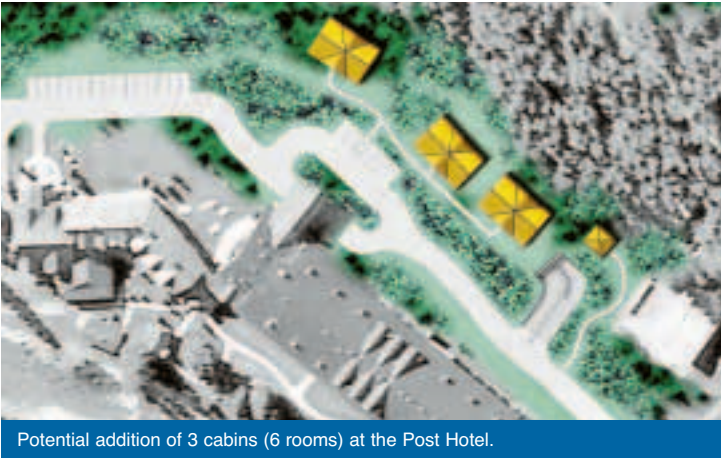
- prohibit on-site commercial accommodation in the area
- allow the expansion (476m²) of the railway station as identified in the Order in Council (ie., dining area, conservatory, CPR rolling stock)
- ensure additions preserve the station’s heritage values
- protect the riparian environment by encouraging the reclamation of part of the parking lots beside the river; identify alternative parking
- encourage restoration of the historic railway gardens
- encourage expanded interpretation programs

Chateau

- limit the retail services to the 1997 level
- allow improvements to health facilities. These improvements must take place within the sq. m. limits for the hotel. Expansion of building size underground will be permitted, within the established limits, if there is a removal of an equivalent area of development.

Table 1 - Commercial Development Growth Limits

Facility	Current* & Existing Commitments			Change			Future Total*			
	# Rms	#Guests/ Night	sq. m.	# Rms	#Guests/ Night	sq. m.	# Rms	#Guests/ Night	Occupancy Rate ++	Total sq.m.
Chateau	563	1,126	55,700	0	0	0	563	1,126	2	55,700
Hostel	59	200	3,261	0	0	0	59	200	3.4	3,261
Mountaineer Lodge	78	195	4,198	10	25	640	88	220	2.5	4,838
Post Hotel	98	225	6,622	6	24	450	104	249	2.3	7,072
Lake Louise Inn	232	534	11,296	15	35	960	247	569	2.3	12,256
Paradise Bungalows	45	126	2,353	12	34	650	57	160	2.8	3,003
Deer Lodge	73	146	4,973	15	30	960	88	176	2.0	5,933
Train Station	n/a	n/a	917	n/a	n/a	0	n/a	n/a	n/a	917
Samson Mall	n/a	n/a	3,018	n/a	n/a	0	n/a	n/a	n/a	3,018
Gas Stations	n/a	n/a	850	n/a	n/a	0	n/a	n/a	n/a	850
Total	1,148	2,552	93,188*	58	148	3,660	1,206	2,700		96,848*



The 96,848m2 comes from the CNPA Sch 4 and cannot be exceeded, regardless of the existing area not being surveyed. The allowed amount in the right hand column is set in stone. 2022-04-27

++ guest/room/night  
\* current development is estimated, future totals may vary based on confirmation of current development



# A PLACE FOR COMMUNITY

## ...Services for Residents

### MANAGEMENT PLAN AND MINISTERIAL DIRECTION

The *Banff National Park Management Plan* describes Lake Louise as a service centre where there will be limited residential accommodation for people who are directly involved in providing basic and essential services. To achieve this, the management plan lays out the following actions.

- consider products and services that meet the immediate needs of visitors and residents and that support heritage tourism. Reject proposals for social services such as a school and hospital.
- provide limited residential accommodation for people who are directly involved in providing basic and essential services to visitors
- consider increasing the permitted density on leaseholds to provide residential housing, not to expand commercial operations
- prohibit privately owned residences. Require head lessees, groups of sub-lessees, non-profit groups and institutions to provide appropriate residential accommodation. Approve new commercial development, redevelopment or business licenses only when adequate resident housing is in place.
- place a cap on the number of residents
- close the trailer court by 2005. Take advantage of opportunities to close it sooner. Identify suitable alternatives for the residents of the trailer court.
- assess the feasibility of using Parcel BM for housing. Assess the possibility of relocating community reserves and existing uses.
- serve as a center for Parks Canada operations and administration activities.

In May 1998, the Federal Government indicated that housing to address current shortfalls could proceed and that new commercial development must address housing issues.

In June 1998, the Minister indicated that new measures will be introduced to enforce the “need to reside” policy for all communities.

### BACKGROUND

Lake Louise’s 1,915 residents play a key role in a visitor’s experience. They offer information and share their enthusiasm and respect for the mountain environment. Their friendliness, knowledge and commitment to service make visitors feel welcome. Through their actions they can teach people how to become stewards of the environment.

Residents in national park communities have many unique opportunities, including a spectacular location with easy access to outdoor recreational activities. However, considerations such as a limited supply of land and Lake Louise’s role as a visitor service centre, mean they can not enjoy all the same amenities available in other communities of similar size.

Housing is residents’ primary concern. In Lake Louise, demand currently outstrips supply and some employees live in crowded, substandard conditions. Other community issues are related to social and recreational services; home-based businesses; basic and essential services for residents; and the impact of Skiing Louise on the housing situation in the Hamlet.



### Current Housing Issues

Housing is currently needed for approximately 155 staff who are unable to find accommodation in Lake Louise. Improved housing is also needed for about 50 staff who live in crowded and poor conditions.

Limited commercial growth and institutional growth will create demand for suitable accommodation (approximately 130 new people), as will the closing of the trailer court.

#### Type of Housing

Lake Louise has a limited variety of housing. Changing demographics, and an increase in year-round activity, have attracted more permanent and senior staff. These people have little interest in dormitory-style housing.

#### Equity

National park regulations do not allow private residential leaseholds in Lake Louise. The resulting inability to build equity contributes to the problem employers face in attracting and keeping senior staff.

#### Trailer Court

The decision to remove the Trailer Court will displace a number of residents. The people who must move from the trailer court will require accommodation elsewhere in the Hamlet.



### Leaseholders

Commercial leaseholders and institutions are required to provide housing for all their employees. This has given rise to a variety of issues.

- some employers in Lake Louise have not met their obligation to provide staff accommodation
- some head lessees are reluctant to rent their vacant units to employees of other businesses. As a result, some units remain unoccupied even though there is a shortage of housing.
- employees have little control over their housing situation. Because employers control housing, every time a person changes jobs they must move.
- sub-lessees are frequently unable to secure the type of accommodation they need, or to negotiate long-term arrangements with a head lessee

### OBJECTIVES

- to provide adequate housing for eligible residents
- to ensure head lessees meet the requirement to provide adequate housing for their staff
- to provide the opportunity to build equity through housing cooperatives
- to ensure services for residents meet basic needs and are consistent with the role of Lake Louise
- to limit the number of residents
- to provide opportunities for supplementary income
- to permit a range of basic and appropriate recreational opportunities

### GUIDING PRINCIPLES

1. Housing in Lake Louise will continue to be for the use of individuals who qualify as an eligible resident. Renting units to visitors, friends, or staff who do not work for a head lessee or a sub-lessee in Lake Louise will not be allowed.
2. Head lessees will continue to provide accommodation for all their employees, unless they can demonstrate that employees have voluntarily secured other housing or chosen not to live in Lake Louise.
3. Housing in the Hamlet will be restricted to employees of operations based in Lake Louise, unless it can be demonstrated that there are ecological benefits to include housing for operators from outside Lake Louise.
4. Home-based businesses will be permitted as a way to contribute to the economic well-being of the community.



ACTIONS

Housing

Actions regarding residential accommodation fall into three categories:

- 1. General Issues
- 2. Current Shortfall
- 3. Commercial and Institutional Expansion

The site maps in Part IV provide details on the location and type of proposed residential construction in Lake Louise.

General Issues

- require new housing to consist of high and medium-density units; underground parking will be a requirement where important to minimize the footprint of development and where feasible
- use the *Staff Housing Guidelines* previously agreed upon by the Lake Louise Advisory Board to determine the size of units
- prohibit private residential leaseholds
- ensure applications for business licenses or changes in use demonstrate how housing requirements will be met
- apply housing guidelines and principles to ski hill operations where there is an impact on the community
- require head lessees, including Parks Canada, to submit housing strategies outlining how they propose to fulfill their requirements
- enforce the need to reside policy
- develop parcel BM as a residential area, primarily for long-term and senior staff; relocate community services to the community centre
- monitor the implementation of the housing improvements and the number of residents
- allow minor infilling at Harry’s Hill -- one new lot and the conversion of seven Parks Canada bungalows to duplexes or fourplexes
- support the establishment of a not-for-profit housing authority to manage all rental housing in Lake Louise. The housing authority would ensure housing meets standards and is used efficiently and effectively. The authority could manage repairs, collect rent, assign units, and report to a Board of Directors made up of head lessees.
- include key aspects of the guidelines in commercial leases

Current Shortfall

- release new land in the Hamlet to resolve current housing concerns and shortfalls; complete 25% of construction within one year, and all construction within two years of signing the lease - failure to do this will result in reassignment of the lease
- allow groups of sub-lessees to participate in not-for-profit housing syndicates for employee housing
- allow a not-for-profit housing cooperative on Parcel BM (Pipestone)
- encourage Trailer Court owners and residents to pursue the following scenarios:
  - take advantage of new housing provided by head lessees;
  - participate in new housing cooperatives; and
  - participate in the lot releases for housing in Field.
- provide improved housing for 50 existing staff primarily at Deer Lodge
- issue building permits for commercial expansion only after current housing shortfalls are addressed (building permit for appropriate residential accommodation associated with commercial expansion must be issued at the same time)

Housing for Commercial and Institutional Expansion

- enable head-lessees to support their expansion by releasing new land in the Hamlet for residential accommodation; complete 25% of construction within one year of lease assignment, and all construction within two years of signing the lease -- failure to do this will result in reassignment of the lease and a stop order on commercial expansion. Issue occupancy permits for commercial accommodation expansion only after residential accommodation has been addressed.
- allocate land on Village Road to allow groups of sub-lessees to invest in a not-for-profit housing syndicate
- allocate land on Pipestone to meet head lessees’ need for housing to support expansion
- identify a small buffer for unanticipated housing needs; identify housing reserve lands for this purpose
- permit a not-for-profit multi-unit rental complex that would not be associated with a head lessee. Because of uncertainty surrounding this initiative, land for the complex will be identified in the housing reserve.

Not-for-Profit Co-operative Housing

Lake Louise’s existing housing cooperative consists of 13 duplexes and townhouses built in 1995. The following guidelines will apply to the proposed not-for-profit cooperative housing development.

1. The maximum number of units will be 20.
2. Units will be allocated on the basis of a point system, with priority given to people on the Fairview Co-op waiting list, owners of trailers in the Lake Louise trailer court who meet the terms and conditions of their license of occupation, longer-term residents, and people who do not hold a residential lease elsewhere in Banff or Yoho National Parks. Other criteria may be necessary to ensure the units are allocated fairly.
3. The size of individual units will range from 93 - 149 square meters.
4. Retired employees may not live in the co-op.

Not-for-Profit Housing Syndicate

The following guidelines will apply to the management of the syndicate.

1. Sub-lessees can purchase shares in the housing syndicate. Use of the units will be based on the sub-lessees’ investment and requirements.
2. Businesses that leave the community or cease operation must immediately sell their shares back to the syndicate.
3. When a business sells to another operator, the syndicate will grant the new operator first opportunity to purchase the syndicate shares held by the previous operator.
4. Head lessees can not purchase shares in the syndicate.
5. Permission from the head lessee will be required if more than three of their sub-lessees are interested in purchasing shares in the syndicate.

Not-for-Profit Rental Complex

A not-for-profit rental complex will provide some staff, who cannot afford to become involved in a housing cooperative, with the opportunity to rent accommodation other than from their employer. The following guidelines will apply to the operation of the not-for-profit rental unit.

1. Individuals who cease work in Lake Louise must give up their unit.
2. An agreement between an interested group and Parks Canada must precede consideration of any development proposals. The agreement will outline how the group and rental complex will function.

Eligible Resident (need-to-reside)

The concept of ‘eligible resident’ was introduced in the 1960’s with the objective of ensuring residential lands in national parks were occupied by people who needed to reside in the parks for reasons of employment. Non-compliance in Lake Louise is not currently a major concern, however, it is a problem in other national park communities and may increase in Lake Louise. To address the issue, Parks Canada will:

- make regulatory amendments to ensure action can be taken against leaseholders who contravene National Park Regulations;
- require statutory affidavits and lease amendments;
- introduce a public information program to ensure awareness of the eligible resident requirements and actions being taken to address non-compliance; and
- undertake a random audit every five years of residential leases and occupants of residential accommodations.

These changes will ensure residential accommodation is available for those who need it.

RESIDENTIAL GROWTH

The residential ceiling is anticipated to be 2,200 people. This number is an estimate and will not be legislated. It has been identified to assist in developing the housing strategy and to identify anticipated build out. The need-to-reside policy will be the basis for managing the community’s population.

Table 2 - Residential Growth (Number of People)

Current Population (estimate)	1,915
Employees requiring Housing	155
New residents associated with commercial accommodation growth	130
Residential Ceiling	2,200



APPROPRIATE SERVICES

- use the principles and examples described below when evaluating services for residents

### Principles to Assess Basic and Essential Services for Residents

Services must not threaten the health of the park or its cultural features.

Activities will promote the safe enjoyment of the natural environment.

Services will meet the immediate needs of residents.

Services will complement those provided in Field and in the Town of Banff.

Multi-use facilities will be encouraged.

Principles and approaches for managing services for visitors will apply to services for residents where applicable. (see page 43)

### A Guide to Appropriate Services for Residents

The following examples are intended as a guide to appropriate services for residents:

- basic and essential services for visitors (see page 43)
- RCMP detachment
- daycare, preschool, kindergarten
- leisure learning services
- community centre
- small library
- religious services
- recreational facilities
- hardware store
- car wash
- hair stylist/barber
- basic trades

Home-Based Businesses

- allow people, who already have a need to reside in Lake Louise, to operate a home-based business (e.g., sewing, accounting, writing and editing, etc.). Services such as bed & breakfasts or rental suites are not permitted in Lake Louise.
- require residents to obtain an annual business license and written permission from their head lessee
- ensure the business has no impact on the park’s ecology or cultural features, the size of a residence, other residents, visitors, parking, vehicle and pedestrian traffic, or the character of the area.
- ensure home-based businesses adopt the principles of environmental stewardship
- prohibit advertising, posters, displays, etc., on the residence, in yards, or on other facilities. Promotional material is restricted to the mail, the phone book, community notice boards, etc..
- prohibit external structural changes to buildings to accommodate home-based businesses
- consult the Lake Louise Community Council on all applications that meet the criteria for home-based businesses
- post all new applications and renewals for a minimum of two weeks to allow residents to express any concerns
- carry out periodic inspections to determine if home-based businesses comply with the guidelines
- require all material and equipment to be stored inside or in an approved area
- allow only immediate family members who live in the home to work in the business; the home can not be used as an office for other employees

Community Facilities

- create a focal point for the community’s social and recreational activity at the community centre/recreation grounds
- replace the existing community centre with a larger multi-purpose facility that meets a variety of community needs (e.g., recreation, basketball, day care, special events, staff lounge, preschool, kindergarten, small library, multi-denominational religious assemblies, etc.
- provide picnic facilities for staff events at the recreation grounds
- improve landscaping and washrooms
- re-establish a soccer and football field
- allow construction of a roof over the hockey rink and improvements to related support facilities; consider paving the rink surface to increase its use of other activities
- encourage the Chateau to provide community resident access to their health facilities at affordable rates and reasonable times

Trades and Emergency Services

- restrict the trades complex to its current size to protect wildlife movement routes
- allow commercial leaseholders minor additional space for trades and storage. This space will not be used in commercial floor area calculations.
- if necessary, add one floor to the government compound for additional office space
- allow changes to the RCMP site to accommodate other emergency services (e.g., ambulance and fire)

Table 3 - Institutional and Industrial Growth (sq.m)

Institution	Existing Size	Proposed Change	Future Total
Community Centre	217	1,115	1,332
Parks Canada	3,000	1,900	4,900
RCMP	434	186	620
Trades Complex	833	0	833
Total	4,484	3,201	7,685







## PART IV

### AREA CONCEPTS: SITE SPECIFIC STRATEGIES FOR ACHIEVING THE VISION

This section illustrates how the objectives, principles, design guidelines and actions outlined in the previous chapters of the Implementation Guidelines will affect the Hamlet and Upper Lake Louise. It translates these guidelines into specific strategies for each area of the community.

#### Lower Lake Louise

- Overall Site Plan

#### Upper Lake Louise

- Overall Site Plan

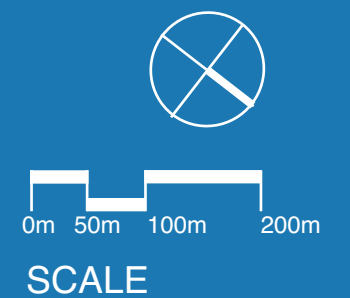
#### Site Specific Plans:

- Village Entrance
- Samson Mall
- Pipestone
- Lake Louise Inn
- Post Hotel Area
- Hostel
- Saddleback
- Village Road/ Moraine Circle
- Trades Complex/ Maintenance Compound
- Petro Canada/ RCMP
- Mountaineer Lodge
- Charleston
- Community Centre
- Temple Housing
- Fairview Lane Housing
- Pinnacle Housing
- East Railway Area
- West Railway Area
- Harry's Hill
- Campground/ Trailer Court
- Paradise Bungalows
- Deer Lodge
- Chateau Lake Louise
- Chateau Staff Housing
- Upper Louise Parking





## LOWER LAKE LOUISE (Hamlet) Existing Conditions

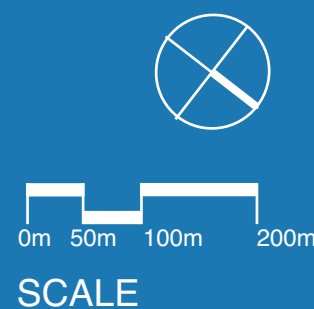






## LOWER LAKE LOUISE (Hamlet)

Achieving the Vision



### LEGEND

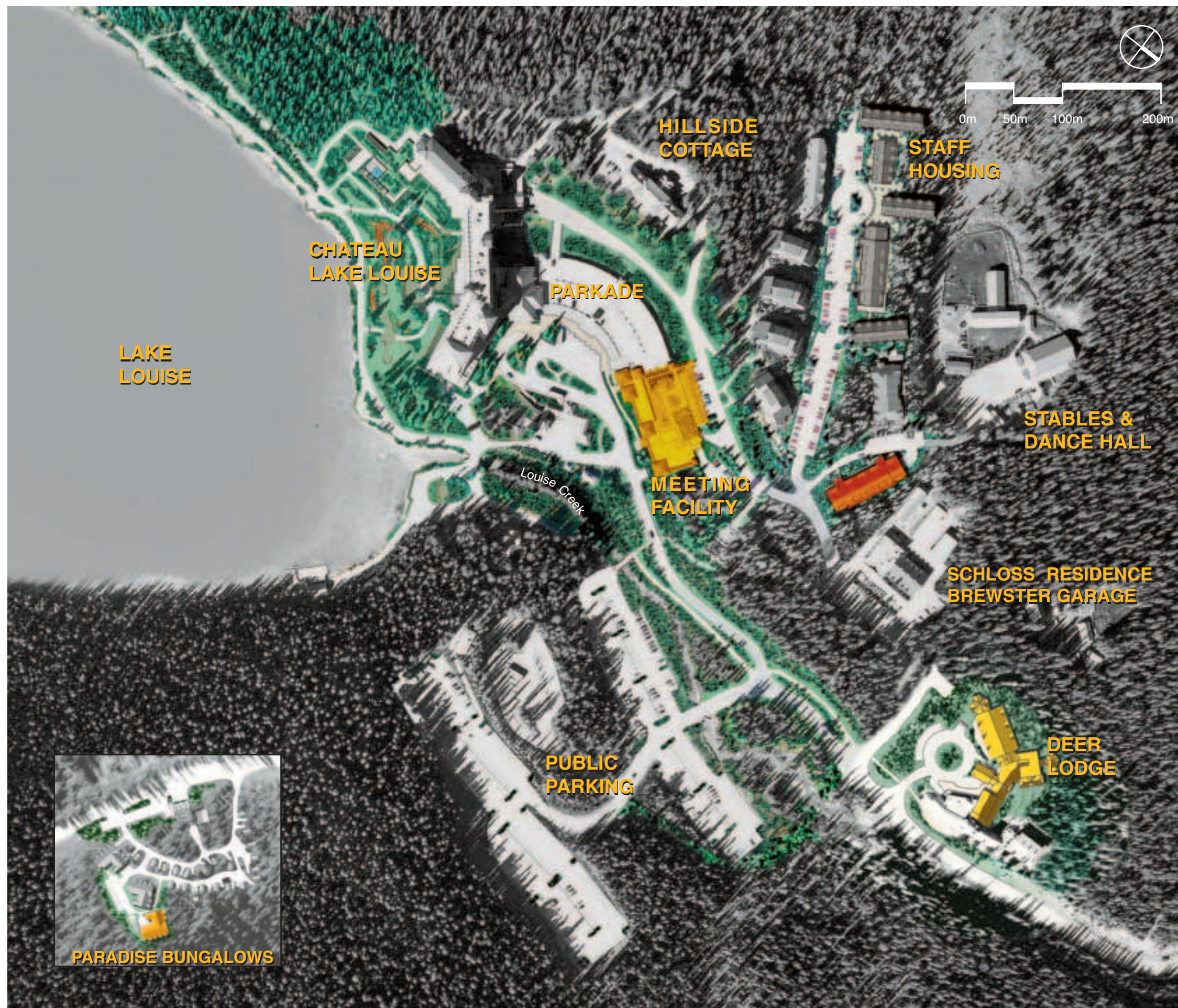
- NEW STAFF HOUSING
- PROPOSED COMMERCIAL - RETAIL
- PROPOSED COMMERCIAL - ACCOMMODATION
- INSTITUTIONAL CHANGES
- HOUSING RESERVE
- PROPOSED LANDSCAPE REHABILITATION



UPPER LAKE LOUISE  
EXISTING CONDITIONS







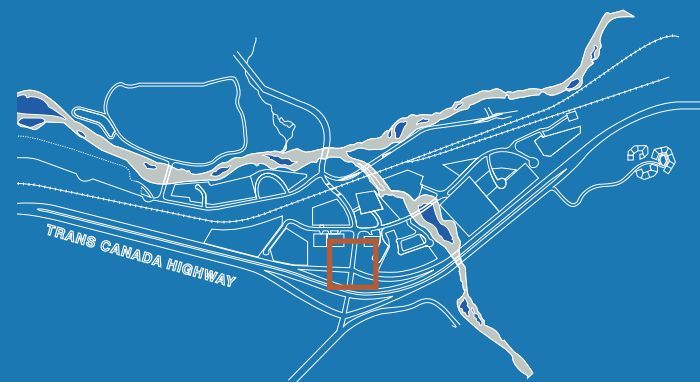


# VILLAGE ENTRANCE

## EXISTING CONDITIONS

All visitors to Upper and Lower Lake Louise pass through this area. Village Road and Lake Louise Drive form the major intersection, the first point of decision making and orientation for travellers. However, there is currently little sense of arrival and signs to direct visitors are inadequate.

1. Unscreened views of the parking area to the west create a negative image upon arrival.
2. Existing entry sign is out of scale and has little visual impact.
3. The absence of a formal entry into the Hamlet from the Trans Canada Highway weakens the sense of place. Signs are confusing and provide little direction for visitors.
4. Roadside requires additional vegetation to enhance the entrance and partially screen the Petro Canada parking area.
5. Four way stop adequately handles the large volume of traffic.
6. The mall parking lot dominates the view.
7. Concrete traffic barrier is out of character.
8. Vegetation along access ramps to the highway is sparse.







## DESIGN GUIDELINES

Two identical welcome signs on either side of the road, a pylon in the centre of the road, and a stone wall will help build an image for Lake Louise and better define the intersection of Lake Louise Drive and Village Road. The sign's main purpose is to welcome visitors and to create a sense of arrival. A secondary purpose is to provide a map of the Hamlet.

### Welcome Signs

- stone pylons
- metal roof, sign, and accents
- where applicable, sign design must comply with Parks Canada corporate sign guidelines
- ensure signs do not block views or directional signage

### Central Pylon

- stone pylon with metal roof
- no sign
- ensure structure does not disrupt driver visibility

### Stone Wall

- sculptured stone wall to reinforce the effect of the entrance and to lead visitors into the Hamlet
- no barrier
- varied height - between one and two meters
- off set and separate sections of the wall to add visual interest and provide opportunities to add signs

### Lighting

- subtle lighting
- hidden in the roof of the signs
- soft lighting from below along sections of the wall

## VILLAGE ENTRANCE

### DESIGN INTENT

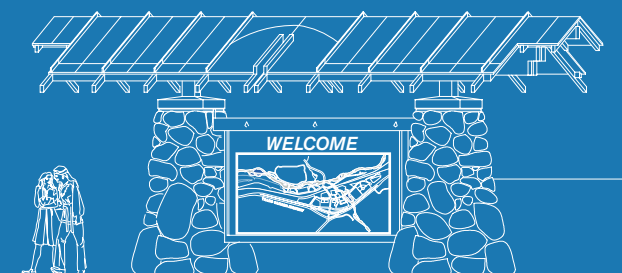
To create a memorable sense of entry into Lake Louise.

To define the intersection.

To orient visitors.

### ACHIEVING THE VISION

1. Screen undesirable views of the bus/RV parking lot.
2. Create a sense of arrival to a special place with major entry feature.
3. Create an identifiable image and sense of arrival with a rock sculptured wall/entrance sign to the village.
4. Install signs at all intersections to direct people to services and facilities. (See page 37).
5. Revegetate road side and selectively screen views of the Petro Canada parking area.
6. Use plants and a low stone wall to reduce the dominance of the Samson Mall parking lot.
7. Remove concrete traffic barrier or replace with a low stone wall.
8. Plant highway access roadsides; ensure planting respects right-of-way standards.
9. Investigate the feasibility of providing a vehicle lay-by in the area that does not add to traffic congestion and provides visitors with orientation information. If a lay-by is not possible, sign information should be limited to "Welcome to Lake Louise."
10. Prohibit gas station expansion.



### CONCEPTUAL DESIGN - ENTRY FEATURE

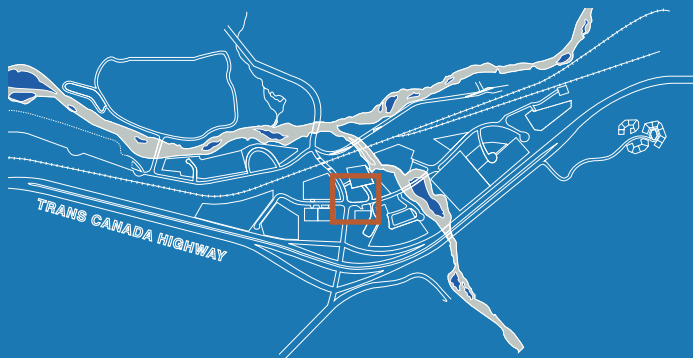


# SAMSON MALL

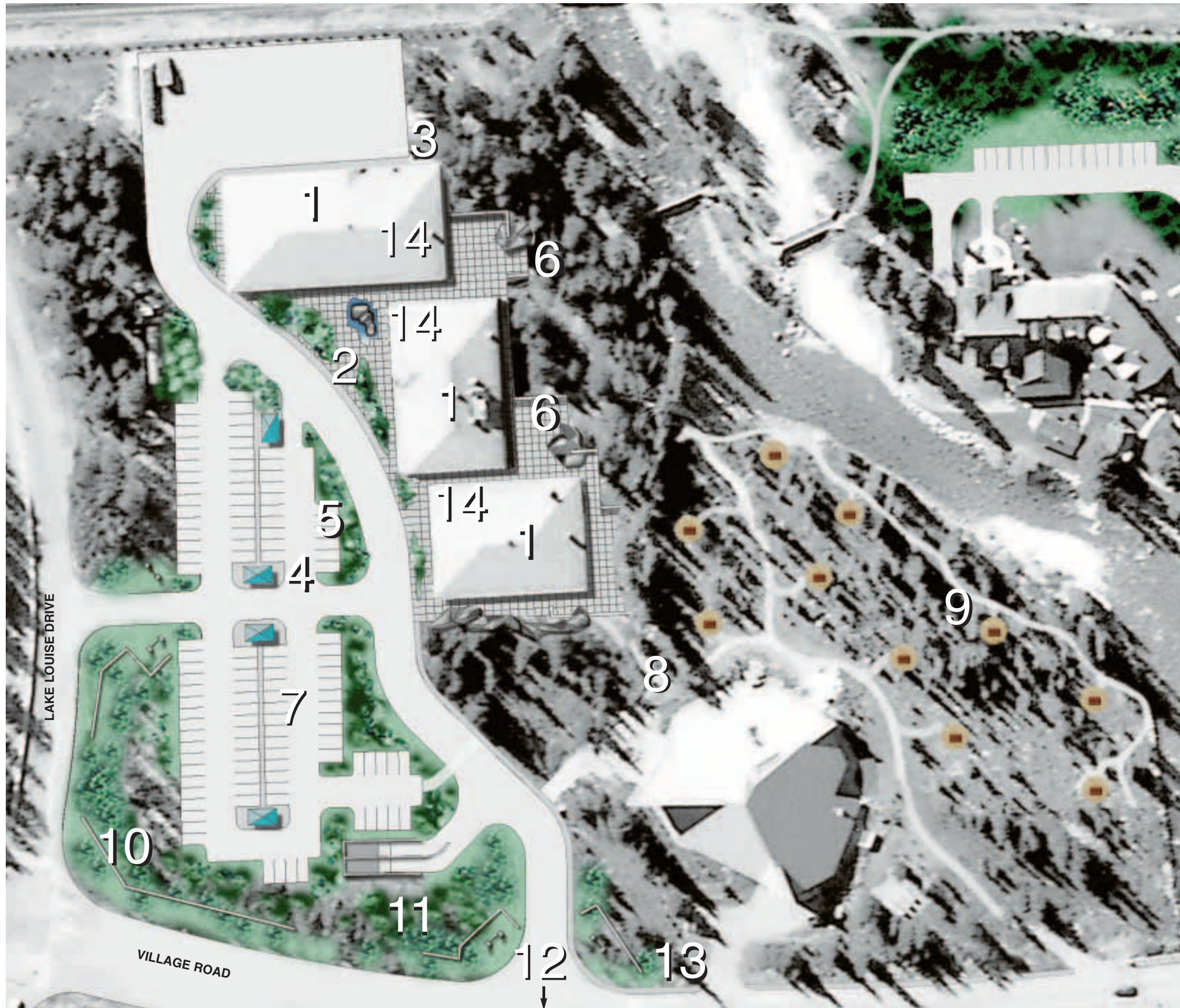
## EXISTING CONDITIONS

The Samson Mall is located at the intersection of Village Road and Lake Louise Drive. As the Hamlet's retail centre, it must accommodate a significant number of vehicles and pedestrians. It's appearance has an effect on a visitor's impression of the area and on the character of the community. The predominant impression of the mall is a sea of parking surrounded by stores.

- 1. Buildings provide a protected sunny area that is ideal for public space. However, no significant outdoor seating and eating area is provided.
- 2. Substantial parking is provided for both the mall and the Information Centre. The lot is not screened from pedestrians.
- 3. The large number of recreational vehicles and buses in the parking area often create traffic congestion.
- 4. The Pipestone River occasionally floods footpaths.
- 5. Improved pedestrian connections adjacent to Village Road and staff entrance to the centre are required.
- 6. Interpretive signs are isolated. Additional signs could be located along the river.
- 7. Outstanding mountain views to the south-west from the walkways are generally unobstructed by two storey buildings.
- 8. The river area offers people an opportunity to experience nature in the heart of the Hamlet. However, access is poor and the area is not well used.
- 9. Access to delivery and storage area must be maintained.
- 10. Vegetation does not adequately screen the parking area.







## SAMSON MALL

### DESIGN INTENT

- To serve as the village center and heart of the community.
- To accommodate a large volume of pedestrian and vehicular traffic.
- To improve the relationship of the area to the surrounding national park environment.
- To offer services for the travelling public.

### ACHIEVING THE VISION

1. Prohibit an increase in commercial space. Limit buildings to their existing height and size.
2. Create an outdoor pedestrian plaza where people can sit and gather. Define the space with trees, raised beds, rockwork, seating wall and a sculpture.
3. Permit addition to garage for mall office requirements. Remove equivalent sized space in mall from future commercial office space.
4. Consider the area as a staging point for public transportation in transportation planning.
5. Improve pedestrian safety in the parking lot by controlling vehicle circulation and by providing buffers.
6. Redevelop and expand mini-plazas behind the mall to provide seating and an event board; consider adding more lighting (directed downward) to improve security.
7. Allow for the construction of an underground parkade.
8. Locate interpretive signs along the river trail and around the village center. These signs should describe the natural and cultural history of the area.
9. Build picnic sites near the river.
10. Create an identifiable image and sense of arrival with a stone wall entry feature. Underplant pine trees with spruce.
11. Reinforce vegetative screening while maintaining some views into the parking lot.
12. Provide parking for recreational vehicles and buses in an adjacent lot or other locations. Restrict parking at the mall to cars, light trucks, etc.
13. Build pedestrian pathways along Village Road to link Samson Mall with residential and visitor facilities.
14. Maintain buildings as distinct, separate structures; do not join roofs but consider extending eaves to reduce snow removal requirements.

#### DEVELOPMENT CAP

Commercial Expansion - none





Existing Site - Samson Mall





Achieving the Vision - Artist's Concept of the Samson Mall Plaza

## DESIGN REQUIREMENTS

### Parking

- allow for 240 parking stalls - 120 above ground and 120 underground
- if developed, underground parking must be fully below grade
- consider the requirements of the underground parking concept when making landscape improvements. This allows for phased development that permits the construction of the plaza and additional tree planting prior to implementation of the underground parking.

### Landscape Guidelines

- create a central sculpture using large boulders (sculpted, sawn, or drill fractured) for the plaza. The design should be inspired in part by the various seasons (i.e. snow and ice formations).
- provide tree pits that are large enough to allow proper growth as specified in the concept plan for underground parking
- use stone walls and natural groupings of large boulders along the edge of planters
- ensure stonework matches the materials used in the Information Centre
- build raised planters that encourage pedestrians to sit
- plant lodgepole pine on the south edge of the new plaza
- use native junipers, roses, and cinquefoils for shrub plantings
- mulch with lodgepole pine cones
- use dark, slate-grey exposed aggregate concrete for the plaza
- install lights and benches as specified in this plan on pages 35 and 38



## CONCEPT FOR UNDERGROUND PARKING



# PIPESTONE

## EXISTING CONDITIONS

Pipestone is bounded by the Pipestone River and the Trans Canada Highway. Access is via Village Road and Hector Drive.

The site currently has four duplexes, five townhouses, the day care centre, and the medical centre. The site is ideal for building and could accommodate additional residents.

- 1. Traffic on the Trans Canada Highway creates high levels of noise.
- 2. A healthy coniferous forest covers most of the site.
- 3. Sections of vegetation along the Pipestone River are in poor condition.
- 4. The forested area between Hector Drive and the Trans Canada Highway requires enhancement planting.
- 5. No formal pedestrian connections exist between the site and the Hamlet centre.
- 6. More visual separation between the overflow parking area and the service station is required.
- 7. The daycare is located on potential residential lands.



P1 Medical Clinic is an example of appropriate design for the area.

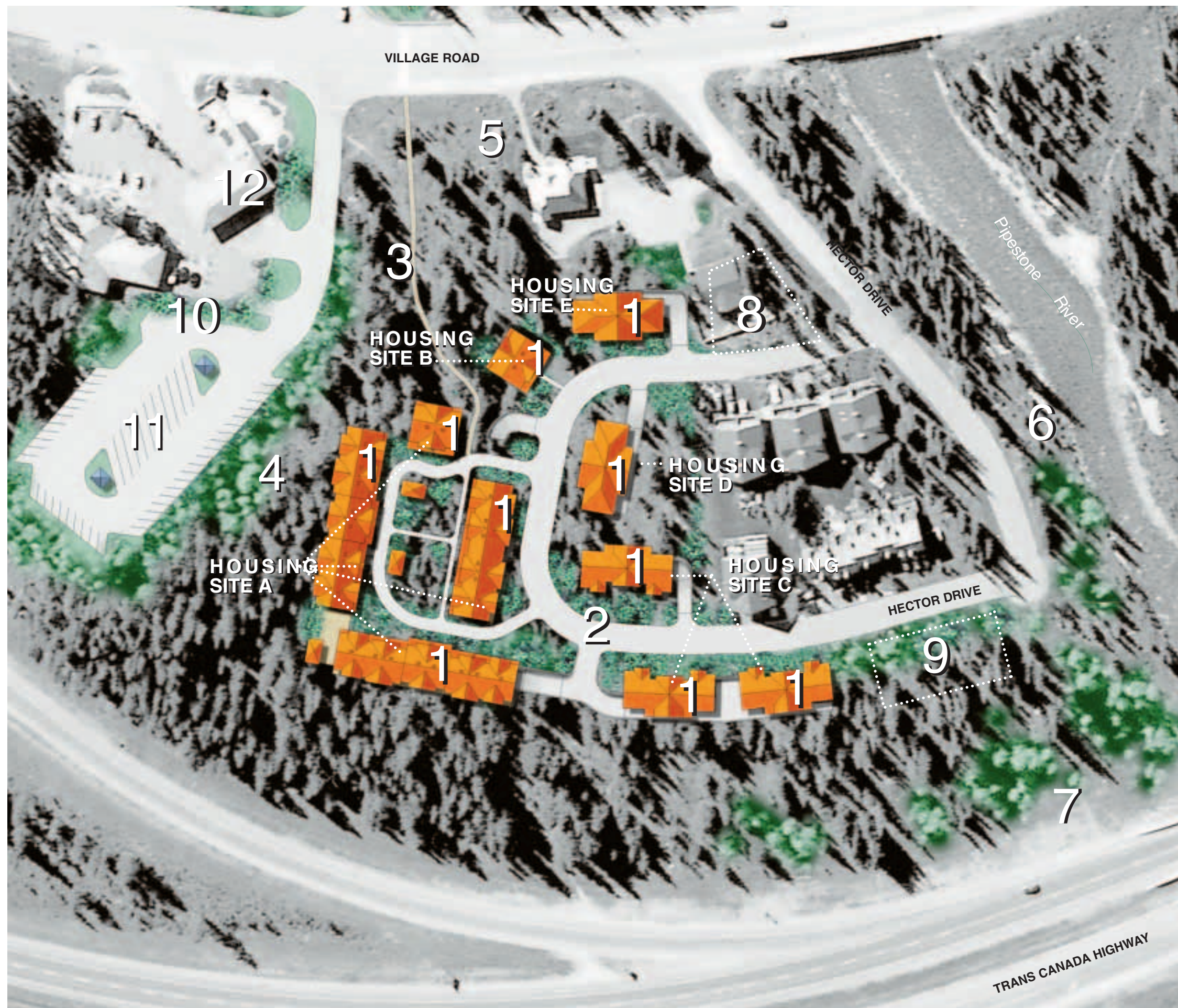


P2 Existing duplexes.



P3 Existing higher density townhouses.





## PIPESTONE

### DESIGN INTENT

To provide medium density housing for senior employees and families.

To retain connections to the natural environment.

To provide pedestrian pathways to the village centre.

To minimize the impact of the Trans Canada highway on the quality of residential life.

### ACHIEVING THE VISION

1. Provide housing as outlined in the housing strategy. (See "A Place for Community").
2. Create a pedestrian friendly streetscape.
3. Preserve existing vegetation. Create a pathway through the open space to provide access to the Village Center and other sites.
4. Use vegetation to screen the bus/RV parking lot.
5. Screen development along Village Road.
6. Restore vegetation along the river.
7. Berm and plant along the Trans Canada highway to buffer development from the road.
8. Relocate day care to new community centre. When this takes place, construction of four housing units can be considered (housing reserve).
9. Use this site for housing as a last resort because of the noise from traffic on the Trans Canada highway (housing reserve).
10. Screen the parking area from the service station. Install signs to the parking area.
11. Use parking lot primarily for buses and RVs.
12. Prohibit gas station expansion.

#### DEVELOPMENT CAP

Commercial Expansion -	none
Residential Density -	110 bed units/ha
Site Coverage ratio -	50%



# DESIGN REQUIREMENTS

## Site Layout and Design

- use the layout of residences and roads to create a community atmosphere and clearly defined landscaped spaces
- follow the guidelines in Part II, Community Character for lighting, pedestrian access, building materials, colour, and landscaping
- locate residences parallel to the roadways
- encourage owners to build residences in multi-unit buildings; limit the number of residences to six per building
- provide different types and densities of residences
- ensure buildings are of the same general scale
- keep the number of roads to a minimum
- prohibit blank end walls; install windows or other features on the end facade of units
- pay careful attention to screening, integrating buildings with their surroundings, and providing views from the residences

## Housing Site A

- buildings ranging from two to six senior units in each
- maximum height - 10 m - two storeys plus occupied attic space
- maximum unit size - 130 m2
- resident parking - in an underground structure with limited above grade exposure
- visitor parking - in small surface lots and lay-bys on the roadway
- appearance - staggered units to reduce the mass of the larger buildings.

## Housing Sites B, C, D, and E

- buildings with two to four senior units in each
- maximum height - 10 m - two storeys plus occupied attic space
- maximum unit size - 130 m2
- resident parking - under building or surface lots.
- visitor parking - in small surface lots or lay-bys on the roadway



CONCEPTUAL DESIGN - Elevation of a six unit building (Site A)



CONCEPTUAL DESIGN - Section across courtyard of building complex showing underground parking

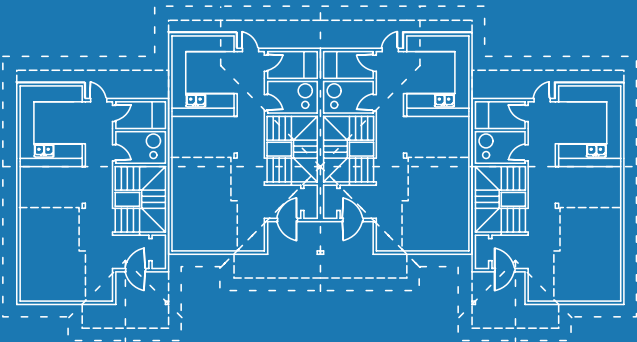




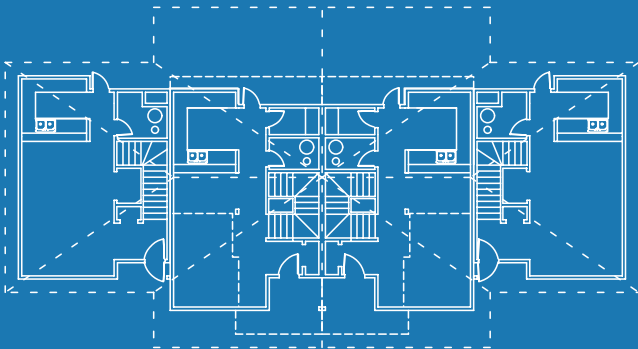
Existing Site - Pipestone



Artist's Concept - Multi unit housing complex (Site A)



CONCEPTUAL FLOOR PLAN - Housing Site C



CONCEPTUAL FLOOR PLAN - Housing Site D & E

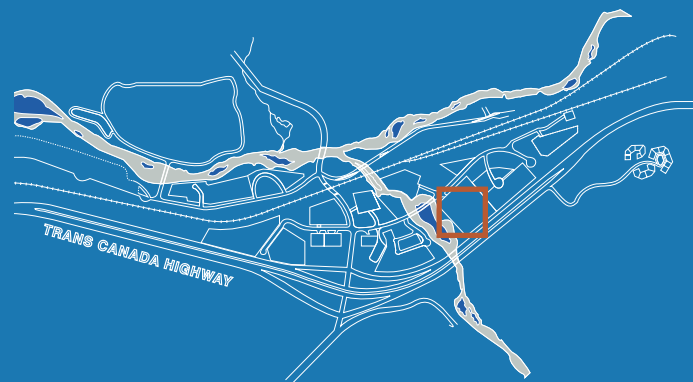


# LAKE LOUISE INN

## EXISTING CONDITIONS

The Lake Louise Inn is located south of Village Road. Parking and buildings are highly visible from the Trans-Canada Highway.

1. Large parking lots and the extent of development create a negative image as people arrive at the Lake Louise Inn.
2. The recently sodded area at the main entrance is inappropriate for the setting and area.
3. The forested area around the outdoor barbeque pavilion is a natural element on the site that should be protected.
4. The light colour of the main building's siding detracts from the natural surroundings and makes the inn highly visible from a distance.
5. The new light bollards at the main entrance set an appropriate standard for the design of other lighting and landscape features.
6. Large open parking areas are unattractive.
7. The unvegetated berm at the north end of the site only partially screens views to and from the Trans Canada Highway.
8. Subsurface utilities limit the potential for underground parking opportunities.



P1 Light-coloured siding and lack of design detail accentuates the building's mass.



P2 Garbage/storage area would benefit from screening.



P3 Parking lots predominate with little natural landscape.



P4 View of the Lake Louise Inn from the highway.





DESIGN REQUIREMENTS

Building Guidelines

- limit height to three storeys
- provide architectural elements to enhance the character of the buildings
- repaint buildings according to the colour guidelines in Part II, Community Character; dark colours will help reduce the visual impact and mass of the building
- ensure building design is consistent with general guidelines

Landscape Guidelines

- replace exterior pole and building lights with fixtures that conform to the lighting guidelines in Part II, Community Character
- prepare an extensive landscape improvement plan aimed at rehabilitating disturbed sites, screening, buffering, and improving the site's appearance
- increase the amount of natural vegetation and reduce the extent of manicured areas

DEVELOPMENT CAP

Commercial Expansion -	960 m <sup>2</sup>
Site Coverage Ratio -	55%
Average Number of Guests/Night -	569
Total Number of Rooms -	247
Occupancy Rate -	2.3 guests/night/room

LAKE LOUISE INN

DESIGN INTENT

- To reduce the visual impact of paved areas.
- To improve the relationship of the site to the national park setting.
- To allow the hotel to expand.
- To implement landscaping improvements.

ACHIEVING THE VISION

1. Permit a maximum of 15 new rooms to be developed around a single building and 35 additional guests.
2. Limit additional commercial floor area to a maximum 960 square meters.
3. Prepare a landscape improvement plan aimed at rehabilitating disturbed sites, screening, buffering and improving the sites appearance. Increase the amount of native vegetation and minimize the extent of manicured areas. Landscaping should enhance views of the natural landscape.
4. Use natural landscaping to reduce total paved area and to break up parking areas into smaller pods of 12 or less.
5. Improve building character by painting with new colours consistent with guidelines, and by using balconies and other features to reduce building mass (see Part II, Community Character).
6. Renovate existing buildings to meet community plan guidelines for architectural design and character (see Part II, Community Character).
7. Use native species in groups, and wooden fences to screen garbage and utility areas and to soften building appearances.
8. Retain existing bollard lighting; replace other lights with hooded fixtures that conform to lighting guidelines (see Part II, Community Character).
9. Develop a pedestrian circulation plan for the site and install interpretive signs themed to ecological integrity and cultural resources.
10. Reforest the berm using groupings of native trees and shrubs to screen the Trans Canada Highway.
11. Reinforce vegetative screening between the Lake Louise Inn and Saddleback housing area.
12. Restrict horticultural plantings to a few planters using species that do not spread or attract large mammals.
13. Within development limits, permit expanded gift shop, restaurant, meeting space and other similar services for hotel guests consistent in scale to the size of the operation and appropriate use principles.
14. Provide emergency vehicle access between all buildings.

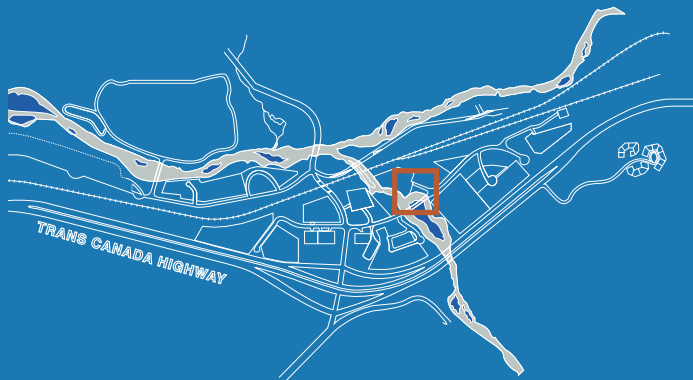


# POST HOTEL AREA

## EXISTING CONDITIONS

The Post Hotel is located southwest of the Village Road, along the banks of the Pipestone River. As one of the early buildings in the area, the original hotel serves as an important precedent for architectural style, scale, and character. The hotel is one of the few historical buildings in Lower Lake Louise.

- 1. The extensive parking area detracts from the appearance of the site.
- 2. Development has disturbed streamside vegetation, which now lacks natural complexity.
- 3. The landscape is dominated by manicured lawns.
- 4. Maintenance area could benefit from screening.
- 5. A stand of lodgepole pine provides strong spatial definition and a natural background for the site.
- 6. Views of the railway are only partially screened.
- 7. Day use parking is required for the pub.
- 8. The pedestrian trail ends abruptly in the parking lot.
- 9. The view of the kitchen service area is unattractive.
- 10. Plantings at the entrance are sparse and require enhancement.
- 11. Exterior lights do not reflect the character of the place and contribute to night light pollution.
- 12. The remaining heritage values of the original hotel should be retained.
- 13. The Telus building requires screening and is architecturally out of character with the adjacent development.



P1 Appropriate architectural details.

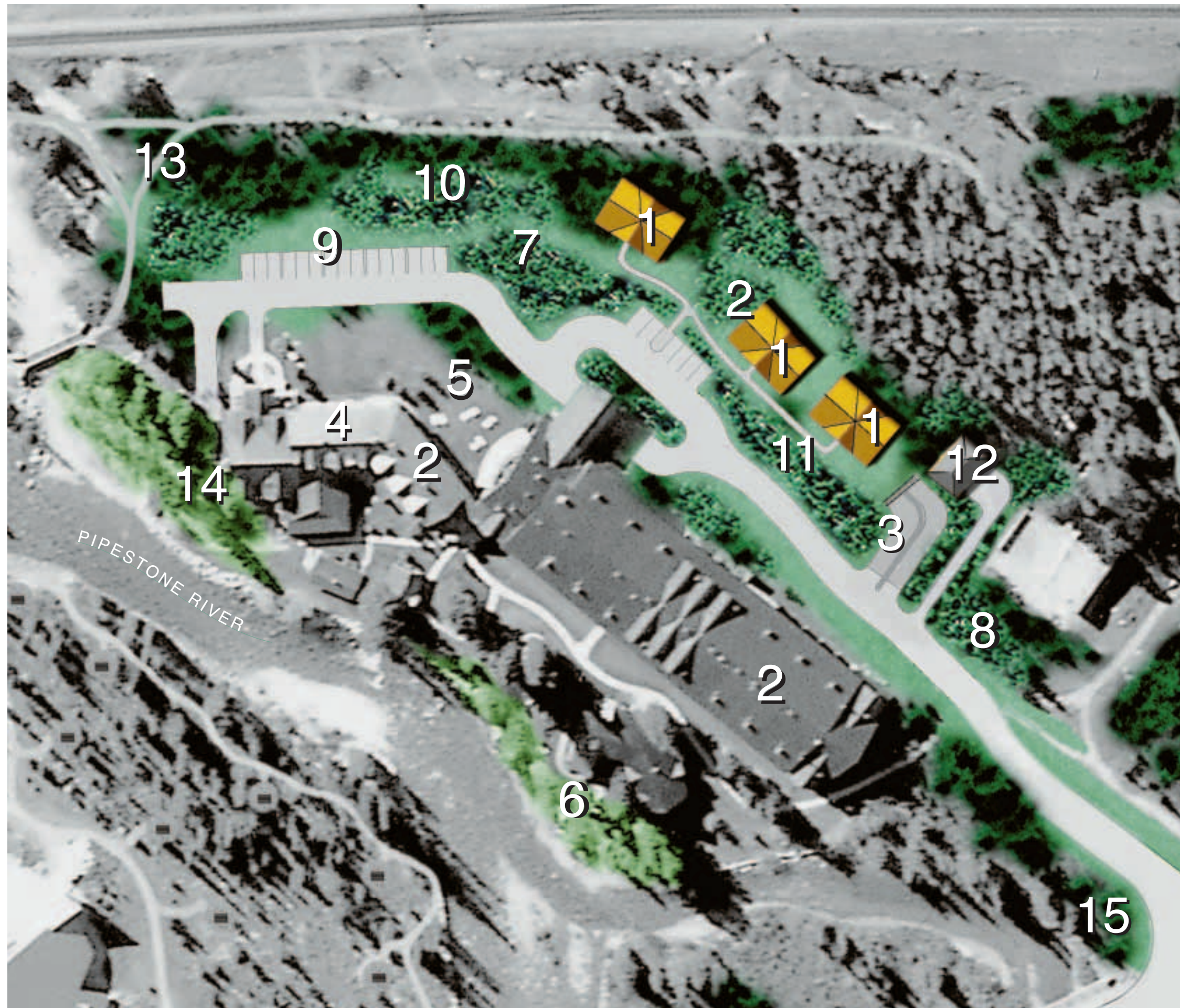


P2 Service zone could benefit from screening.



P3 Overuse of turf grass along river and around cottages.





## POST HOTEL AREA

### DESIGN INTENT

- To retain the heritage values of the original hotel.
- To reduce the visual impact of parking areas.
- To better integrate the landscape with the natural park setting.
- To allow minor hotel expansion.

### ACHIEVING THE VISION

1. Permit the development of three new cabins with two suites each, and 35 additional overnight guests.
2. Limit additional commercial floor area to a maximum 450 m<sup>2</sup>.
3. Build underground parking for all guests. Site coverage is to be reduced by approximately 20%.
4. Retain the architectural elements of existing hotel. Ensure future renovations to the original hotel respect and reinforce its heritage values.
5. Install new exterior lights to reduce light pollution.
6. Prohibit further development along the river and replant the riparian environment with native vegetation.
7. Reduce the extent of manicured landscape and replace with native vegetation.
8. Plant vegetation to screen the Telus building. Ensure future renovations meet architectural guidelines.
9. Provide day use parking for the pub.
10. Reinforce vegetation along berm.
11. Plant roof of the parking garage with native vegetation.
12. Cover and screen maintenance area.
13. Allow for pedestrian circulation through and around the site.
14. Screen the kitchen service area with vegetation.
15. Install a site identification sign at the entrance.

#### DEVELOPMENT CAP

Commercial Expansion -	450 m <sup>2</sup>
Site Coverage Ratio -	45%
Average Number of Guests/Night -	249
Total Number of Rooms -	104
Occupancy Rate -	2.3 guests/night/room





Existing Conditions - Post Hotel

## DESIGN REQUIREMENTS

The Post Hotel may build three new guest cabins west of the hotel if it meets all the conditions in these guidelines, including the construction of an underground parkade and replanting of the riparian environment.

- three cabins with two suites in each
- maximum height - 10 m - two storeys with the second storey within a steep pitched roof
- follow guidelines as outlined in Part II, Community Character
- new cabins should reflect the style, materials, and colour of existing cabins
- replace existing overnight guest surface parking with an underground parkade capable of accommodating all hotel and cabin guests

### Underground Parkade

- provide a minimum of 110 stalls

### Landscape Guidelines

- draft specifications that allow for parkade roof planting
- incorporate tree pits into the parking structure rather than raised beds
- remove only those trees in the existing parking lot when parkade is constructed.





Achieving the Vision - Artist's Concept of the Post Hotel Cabin Addition

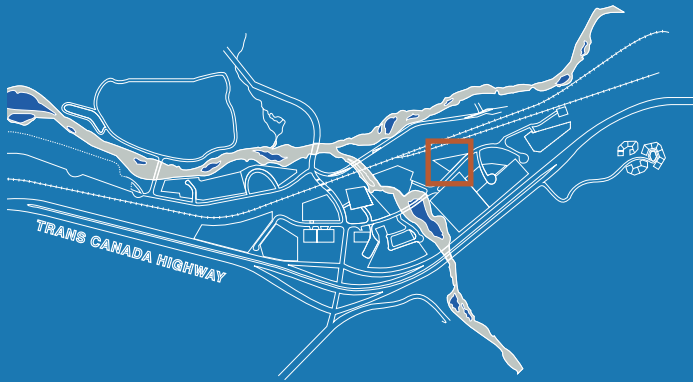


# HOSTEL

## EXISTING CONDITIONS

The Hostel is located next to the Post Hotel, south of Village Road. The modern, mountain architectural style and scale of the Hostel structures are appropriate for the area. The lease for the site allows for additional overnight guests.

- 1. Pedestrian connections with adjacent facilities (the Post Hotel, Samson Mall) and residential area need improvement.
- 2. A vacant area between the Hostel and the Telus building has the potential for development.
- 3. Vegetation along Village Road needs improvement.
- 4. The best views to the mountains from the Hostel are to the south.
- 5. Parking along the road makes snow ploughing difficult and does little to add to the character of the site.
- 6. The most recent addition sets an appropriate precedent for future development.
- 7. The street edge and property boundary are not well defined.
- 8. The propane tank is in a highly visible location and is poorly screened.
- 9. Recent landscape and parking improvements require further enhancement.



P1 Entrance & building architecture reflect appropriate mountain style and details.



P2 Vacant land suitable for development.



P3 Recent building sets a precedent for future development.





## DESIGN REQUIREMENTS

### New Building

- maximum size - match the most recent addition
- maximum height - 10 m - three storeys with the third storey being within the attic space
- locate building in existing opening as illustrated to preserve as many trees as possible
- leave enough space between buildings to allow emergency access, respect building codes, and protect the view from existing structures
- match the style, materials, and colour of the most recent building while respecting the guidelines in Part II, Community Character
- provide a porch on the courtyard side of the new building; if possible, extend the porch around the entire building
- connect the new building to existing buildings with an open covered breezeway



Existing Conditions



Artist's Concept - Proposed Building

## Landscape Guidelines

- follow guidelines in Part II, Community Character
- install lights along the access road
- protect existing trees

## HOSTEL

### DESIGN INTENT

- To provide affordable, quality accommodation.
- To permit the Hostel to expand consistent with its lease.

### ACHIEVING THE VISION

1. Permit a maximum of 15 new rooms and 50 additional overnight guests.
2. Limit additional commercial floor area to a maximum of 1200 m<sup>2</sup>.
3. Ensure pedestrian access between hostel buildings and parking lot.
4. Screen and define parking lot with vegetation.
5. Protect the interior stand of trees. Locate pathway on periphery.
6. Provide an outdoor gathering space with tables, seating, and a fire ring.
7. Build pathways to connect the hostel to nearby sites.
8. Screen propane tank with vegetation.
9. Eliminate parking along the road and restore vegetation.
10. Improve landscape with native vegetation.
11. Retain all existing vegetation.
12. Spatially define and reduce visual impact of parking lot with planting pockets at entrance.

### DEVELOPMENT CAP

Commercial Expansion -	1200 m <sup>2</sup>
Site Coverage Ratio -	52%
Average Number of Guests/Night -	200
Total Number of Rooms -	59
Occupancy Rate -	3.4 guests/night/room

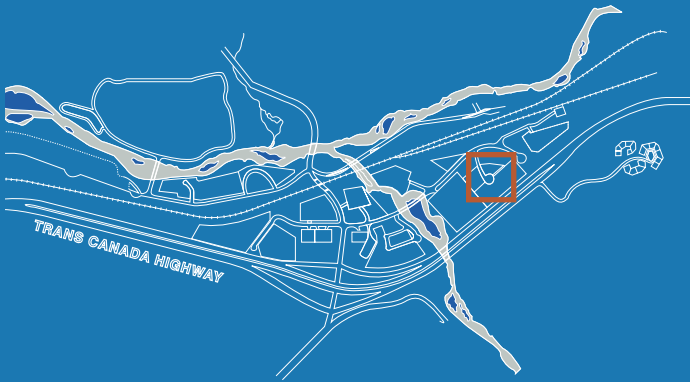


# SADDLEBACK

## EXISTING CONDITIONS

The Saddleback site consists entirely of high-density staff accommodation. While the architectural style and scale of some buildings is appropriate, their colour, the lack of vegetation and the parking lots detract from the site's appearance. There are few useable outdoor spaces for residents.

- 1. The exposed utility boxes, propane tanks and garbage containers could benefit from screening and clean-up.
- 2. There is an overall lack of trees and shrubs.
- 3. Sparse vegetation offers little screening between the Trans Canada and the Saddleback site.
- 4. Noise from the highway is relatively high.
- 5. Visitor parking is limited.
- 6. Recently built new staff housing.



P1 The centre of the residential area and entrance would benefit from more trees and shrubs.



P2 Utilities and parking dominate views within the site.



P3 Scale of structures is appropriate but colours are highly visible.





# SADDLEBACK

## DESIGN INTENT

To reduce the visual impact of development and restore disturbed areas.

To provide high density housing for employees.

## ACHIEVING THE VISION

1. Screen utility boxes, propane tanks and garbage containers.
2. Plant open areas and roadside with native trees and shrubs to within three meters of paved surface.
3. Screen and separate developments by planting in the median.
4. Plant open areas and the berm adjacent to the Trans Canada highway.
5. Use darker stain when repainting buildings.
6. As required, replace light standards with fixtures that are consistent with the landscape guidelines.
7. Ensure any redevelopment follows the guidelines in Part II, Community Character.

### DEVELOPMENT CAP

Residential Density -	160 bed units/ha
Site Coverage Ratio -	45%

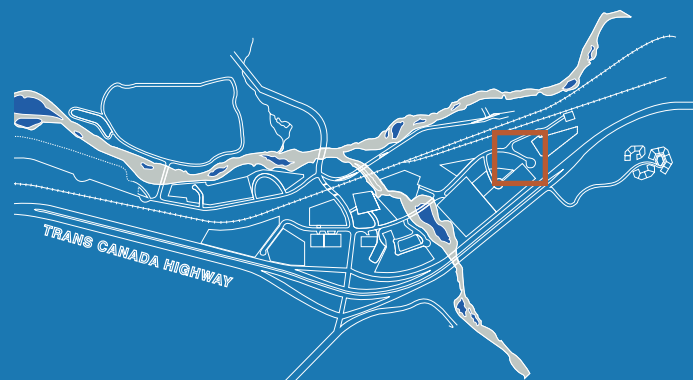


## VILLAGE ROAD / MORaine CIRCLE

### EXISTING CONDITIONS

The Moraine site includes the north end of Village Road, the intersection with Sheol Road, and the adjoining cul-de-sac.

1. The site contains several vacant and potentially developable areas.
2. The location and design of the site identification signs along Village Road near the intersection of Sheol Road require attention.
3. The berm between the cul-de-sac and the highway is in need of additional earthwork and planting to improve the view both to and from the Trans Canada highway.
4. A trail to the Parks Canada compound cuts through the well-treed area north of the site.
5. There is a weather station and helicopter landing pad west of the Village Road.
6. A stand of Lodgepole Pine significantly reduces the visual impact of the Saddleback development.



P1 Weather Station beside Village Road.



P2 Vacant and potentially developable area.



P3 Potential development area offers a pedestrian connection to Saddleback housing.





## VILLAGE ROAD / MORAINE CIRCLE

### DESIGN INTENT

To provide high density housing.

### ACHIEVING THE VISION

1. As part of transportation planning, assess the need for an overflow parking lot. Plant a dense buffer around the parking lot. If parking is not required, berm and landscape the area with native vegetation to screen the rail line.
2. Build high density housing units along Village Road and Moraine Circle.
3. Encourage underground parking for residential units to minimize site coverage and to achieve allowable density on site. Allow limited surface parking for visitors.
4. Build a heavily landscaped buffer between buildings and Village Road.
5. Limit the removal of existing trees.
6. Realign Village Road to create secondary access to Moraine Circle and to redirect the general public from using the entrance into the housing area.
7. Berm the area adjacent to the Trans Canada highway and plant with native vegetation.

#### DEVELOPMENT CAP

Residential Density -	200 bed units/ha
Site Coverage Ratio -	50%



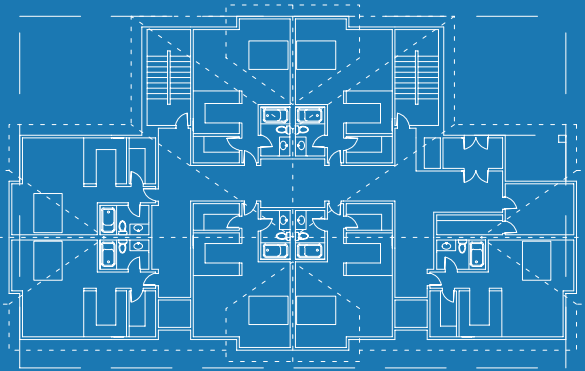
# DESIGN REQUIREMENTS

## Architectural and Landscape Guidelines

- follow guidelines in Part II, Community Character
- articulate the facades and rooflines to reduce the visual scale and mass of the structures
- add planting/screening within the right-of-way; this will be the responsibility of the proponent
- encourage tree planting up to three meters from the paved surface
- remove as few trees as possible
- preserve native vegetation in open space around development
- allow terraces/patios immediately adjacent to buildings
- limit terraces/patios to 14 m2
- prohibit fencing and hedges
- prohibit blank end walls; install windows or other features on the end walls of buildings
- locate residences parallel to the roadway
- stagger units/sections to reduce the mass of larger buildings
- screen and integrate buildings with their surroundings; provide views
- set buildings far enough back from roadways to allow planting/screening

## Parking

- resident parking - underground, under building and limited surface lots within the sites
- visitor parking - in small surface lots on site



CONCEPTUAL FLOOR PLAN - Housing Sites F & G

## Housing Site F

- buildings with single and shared units in each for up to 75 residents
- maximum height - 10 m - two storeys plus occupied attic space
- maximum unit size - 100 m<sup>2</sup>

## Housing Site G

- buildings with single and shared units in each for up to 38 residents.
- maximum height - 10 m - two storeys plus occupied attic space
- maximum unit size - 100 m<sup>2</sup>

## Housing Site H

- buildings with single and shared units in each for up to 80 residents
- maximum height - 10 m - two storeys plus occupied attic space
- maximum unit size - 100 m<sup>2</sup>

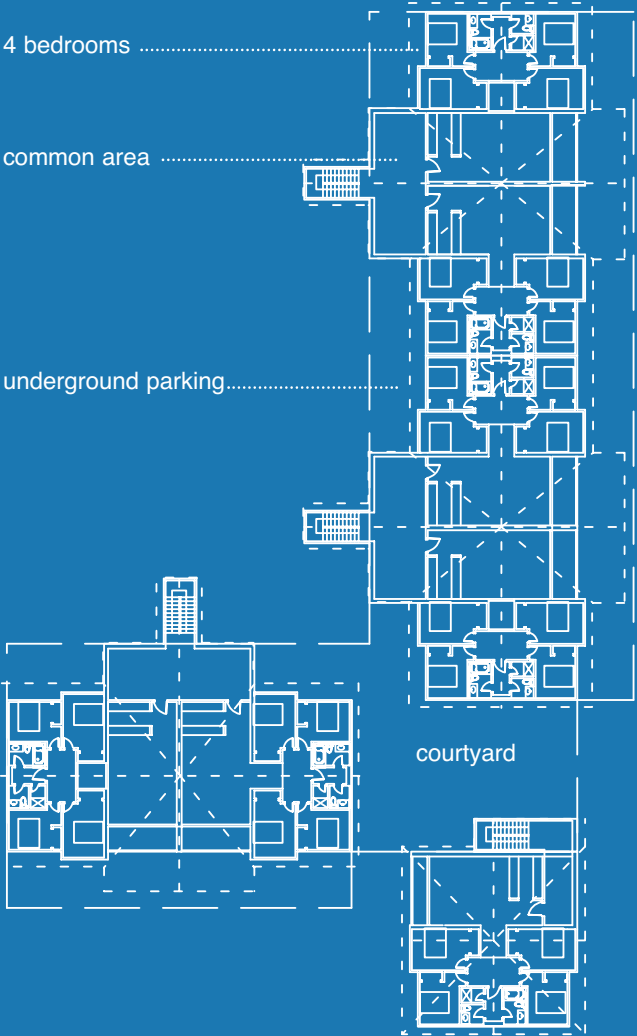


Existing Conditions - View of Moraine Circle





Achieving the Vision - Artist's concept for Moraine Circle housing additions



CONCEPTUAL FLOOR PLAN - Housing Site H



# TRADES COMPLEX / MAINTENANCE COMPOUND

## EXISTING CONDITIONS

The offices for various tradespeople are located in this industrial area at the west end of the Hamlet. Because plans to expand the complex to the west may interfere with the north-south movement of wildlife, the community must look for other ways to accommodate the anticipated increase in demand for this type of space. One possibility is to ask head lessees to allocate space for tradespeople on their leaseholds.

The recent creation of the Lake Louise, Yoho, and Kootenay National Park Field Unit and the centralization of highway services in Lake Louise has also created demand for additional office space in Parks Canada's maintenance compound.

### Trades Complex:

- 1. The Waste Transfer Site requires additional planting and screening and may need to expand.
- 2. The area is congested and untidy.

### Maintenance Compound:

- 3. The building's design is not consistent with architectural guidelines for the area.
- 4. More covered storage space is needed.
- 5. The extensive paved areas are not fully used in the summer.
- 6. The compound is well screened from the highway.
- 7. Lost visitors often end up in the trades complex. Large recreational vehicles find it difficult to turn around.
- 8. There is not enough space for emergency vehicles (e.g., fire truck, ambulance).



P1 Trades building and utility storage requires screening.

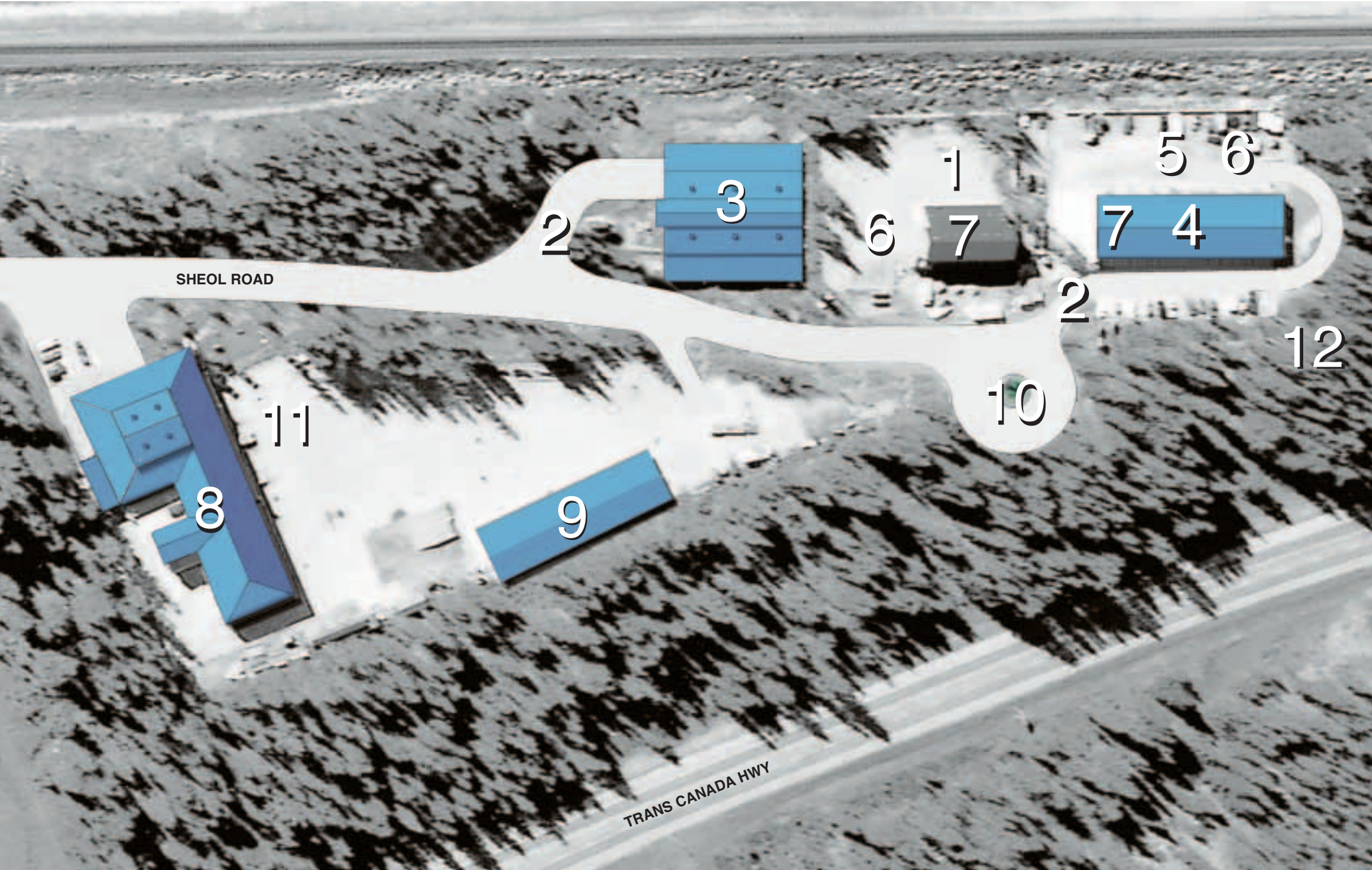


P2 Fenced garbage storage area should be covered.



P3 Parks Canada's vehicle storage area is not fully utilized.





# TRADES COMPLEX / MAINTENANCE COMPOUND

## DESIGN INTENT

- To provide space for basic and essential trade services and storage.
- To improve the appearance and function of the existing facilities.
- To provide adequate space for employees and emergency services.
- To maximize the use of the government compound while ensuring smooth operation of the highway.
- To make it easier for vehicles to turn around.

## ACHIEVING THE VISION

### Trades Complex:

1. Limit the trades complex to its existing footprint. Permit existing commercial leaseholders in other areas of the community to provide minor amounts of space for trades and storage for their operations within their Leaseholds.
2. Improve vehicle circulation and the area's appearance.
3. Provide a covered and screened waste recycling and transfer station.
4. Allow for the addition of a pitched roof. Attic space may be used for storage.
5. Rigidly apply basic and essential service criteria when reviewing new requests for business applications.
6. Prohibit expansion.
7. Prohibit residential accommodation. Allow limited sleeping facilities to support businesses that operate at night.

### Maintenance Compound:

8. Redesign floor plan to make better use of the existing work space. Allow the addition of a second storey consistent with the architectural guidelines in Part II, Community Character.
9. Cover storage area.
10. Provide a turn-around for large vehicles.
11. Ensure short term space is available for emergency services. Encourage the Improvement District to accommodate long term needs at the RCMP site.
12. Adjust Hamlet boundary immediately west of the site to protect wildlife movement.

### DEVELOPMENT CAP

Commercial Expansion -	none
Institutional Expansion -	1900 m <sup>2</sup>

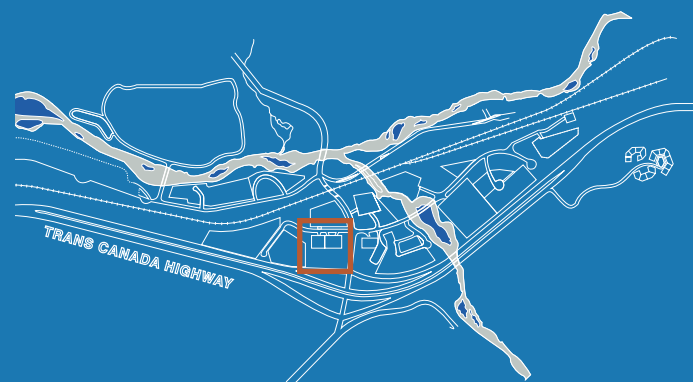


# PETRO CANADA / RCMP

## EXISTING CONDITIONS

The Petro Canada station and RCMP offices provide essential services for both residents and visitors. High volumes of traffic frequent the Petro Canada.

1. The RCMP site has room for expansion.
2. Excellent access to the highway and the Hamlet make this a good location for emergency services.
3. A thick stand of trees provides a buffer between the site and the road.
4. The view of the Petro Canada building from Lake Louise Drive requires vegetative screening. The entire roadside would benefit from revegetation.



P1 The RCMP building has appropriate signage and is well screened.



P2 RCMP building has room for expansion.



P3 Unscreened view of development from main entry road.



P4 Petro Canada Station.





PETRO CANADA / RCMP

DESIGN INTENT

- To improve the appearance of the site.
- To provide basic and essential services.
- To provide emergency services.

ACHIEVING THE VISION

1. Reserve RCMP site for potential integration and expansion of emergency services (e.g., fire, ambulance).
2. Expand the RCMP building to the east if necessary. Ensure all RCMP additions reflect the building's existing design and materials. Provide additional parking behind the building.
3. Reinforce vegetative screening along Village Road. However, ensure that the RCMP building and sign remain highly visible.
4. Prohibit gas station expansion. Continue to provide services for the traveling public. Any future construction or renovations should look to former service stations for inspiration, using their form and materials in a modern manner.
5. Ensure signs are consistent with the guidelines in this document.
6. Plant additional vegetation to screen the site from the highway. Maintain selective views of the station.
7. Protect existing vegetation.
8. Restrict the size of the parking areas. Any allowed expansion should avoid removing trees.

DEVELOPMENT CAP

Commercial Expansion	-	none
Institutional Expansion	-	186 m <sup>2</sup>

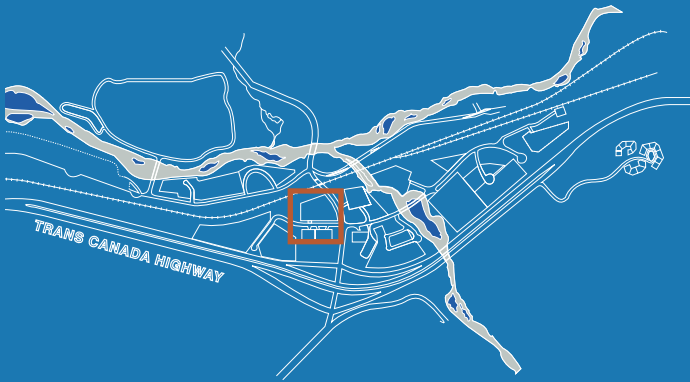


# MOUNTAINEER LODGE

## EXISTING CONDITIONS

While the vegetation surrounding the Mountaineer provides an excellent screen and buffer, the parking lot and the lack of vegetation in the central area detract from the lodge's appearance.

- 1. The entrance court and parking lot would benefit from landscaping improvements. The extensive parking does little to the sense of arrival to the site.
- 2. The site is well screened by trees.
- 3. The vegetated area by the entrance to the Mountaineer Lodge requires enhancement.
- 4. The garbage container at the west corner of the parking area requires screening.
- 5. The lease for the site allows for a restaurant.



P1 Use of natural materials in the entry portico.



P2 Entry gate, lighting and landscaping.



P3 Interior entrance court would benefit from landscaping improvements.





## DESIGN REQUIREMENTS

### Building Guidelines

- maximum height - 10 m - two storeys plus occupied attic space
- locate building addition in the general area identified above
- position the addition so it does not interfere with the view from existing buildings
- while following the guidelines in Part II, Community Character, respect the design and materials used in existing buildings (e.g. combination of stone work and wood siding, roof material, colour)
- improve the appearance of existing building

### Landscape Guidelines

- plant trees throughout parking area
- limit the number of trees to be removed
- remove non-native vegetation at the entrance way and throughout the property
- screen garbage container or relocate to a less prominent location

## MOUNTAINEER LODGE

### DESIGN INTENT

To improve the visitor experience and reduce the visual impact of the parking lot.

To allow for modest growth in overnight accommodation.

### ACHIEVING THE VISION

1. Permit the development of 10 additional guest rooms and 25 overnight guests per night. Ideally, locate new rooms in a structure attached to the southwest of the main building.
2. Allow the establishment of a restaurant as per the existing lease. Restaurant space to be sized to serve hotel overnight guests.
3. Permit the development of meeting space and a gift shop to serve hotel guests. Maximum size of meeting space will be no greater than the industry norm for Lake Louise (proportionate m<sup>2</sup> space to number of guest rooms) and will reflect the guide to appropriate services (page 43)
4. Limit additional commercial floor area including new guest rooms, meeting space and gift shop to 640 m<sup>2</sup>. Allow an additional 130 m<sup>2</sup> for restaurant space. If more than 130 m<sup>2</sup> is needed to provide adequate restaurant space for hotel guests this will be considered but the additional amount will be a component of the additional permitted commercial space limits.
5. Allow surface parking to support expansion. Provide overnight parking space for tour buses.
6. Restrict new development and surface parking to disturbed terrain as much as possible. Minimize tree removal.
7. Create an attractive entrance to the lodge.
8. Reduce manicured landscape and use natural landscaping to improve the site's connection to the natural environment.

#### DEVELOPMENT CAP

Commercial Expansion -	770m <sup>2</sup>
Site Coverage Ratio -	44%
Average Number of Guests/Night -	220
Total Number of Rooms -	88
Occupancy Rate -	2.5 guests/night/room

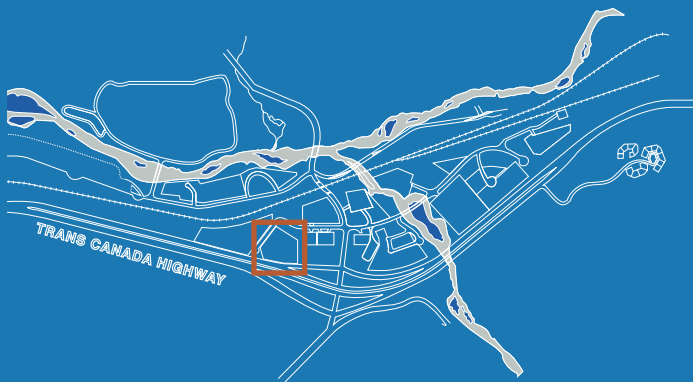


# CHARLESTON

## EXISTING CONDITIONS

Located at the east end of Village Road, this area accommodates the ski hill staff.

- 1. Trees and ground cover between Village Road and the apartment building are sparse and in poor condition.
- 2. The area adjacent to the parking lot has development potential.
- 3. The site has a large stand of trees that should be protected and maintained.
- 4. There is insufficient vegetation along the berm separating the site from the Trans Canada Highway.
- 5. The existing log building is out of scale.
- 6. Major underground utilities pass through the site. Site surveys are needed to determine their exact location.
- 7. The area adjacent to the railroad tracks could be used for parking.



P1 Design details and proportions do not reflect the scale of the structure.

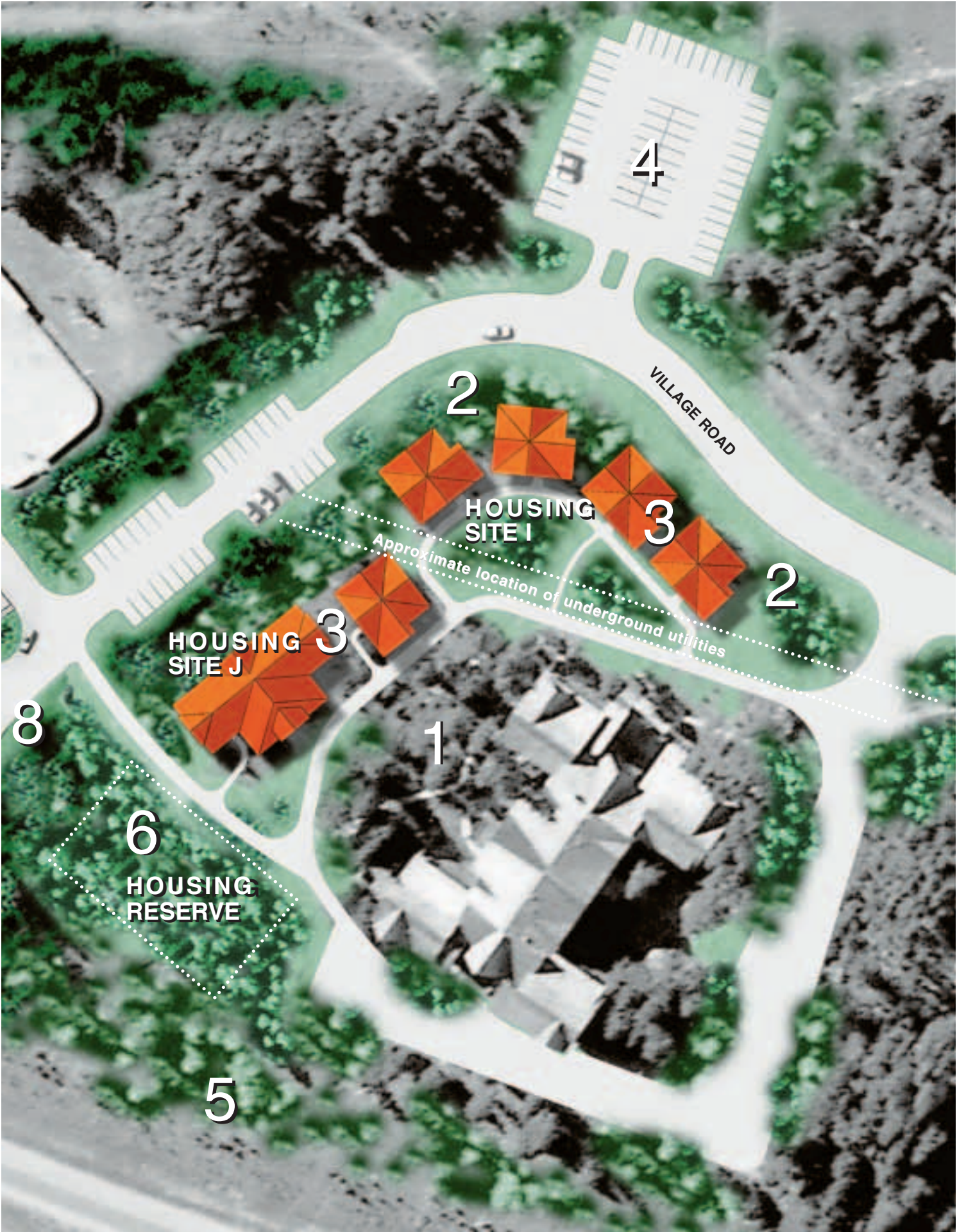


P2 Lack of screening of parking lot from village road.



P3 The Charleston is the largest residential building in the Hamlet.





# CHARLESTON

## DESIGN INTENT

To provide additional, quality high density housing for ski hill staff.

## ACHIEVING THE VISION

1. Create a courtyard. Retain the site's natural landscape and keep hard surfaces to a minimum.
2. Use vegetation along the roadside to screen the site.
3. Permit additional housing. Locate majority of parking underground.
4. Provide overflow parking for special Community Centre functions or for general public parking if required. Assess as part of transportation planning.
5. Reinforce berm and revegetate to provide screening from the Trans Canada Highway.
6. Allow additional housing on this site if required. The site could accommodate a multi unit residential apartment building (housing reserve).

### DEVELOPMENT CAP

Residential Density -	160 bed units/ha
Site Coverage Ratio -	50%





Existing Conditions - Charleston





Achieving the Vision - Artist's Concept, Potential Building Design for Housing Site J

DESIGN REQUIREMENTS

- locate housing in general areas specified in these guidelines
- respect utility easements and right-of-way
- build an underground parkade to be shared by all new housing units and to replace any surface parking that is displaced
- allow adequate space between buildings for emergency access
- follow guidelines in Part II, Community Character
- articulate facades and roof lines to reduce the visual scale and mass of the buildings
- prohibit blank end walls; install windows and other features on the ends of the buildings
- stagger units/sections to reduce mass of larger buildings
- pay careful attention to screening, integrating buildings with their surroundings, and providing views
- encourage tree planting up to three meters from roadways
- remove as few trees as possible
- preserve open spaces around developments
- resident parking - underground with limited above grade exposure
- visitor parking - in small surface lots on the site and in lay-bys on the roadways

Housing Site I

- five buildings with six shared units in each for up to 60 residents
- maximum height - 10 m - two storeys plus occupied attic space

Housing Site J

- one building with ten single units for up to 10 residents
- maximum height - 10 m - two storeys plus occupied attic space

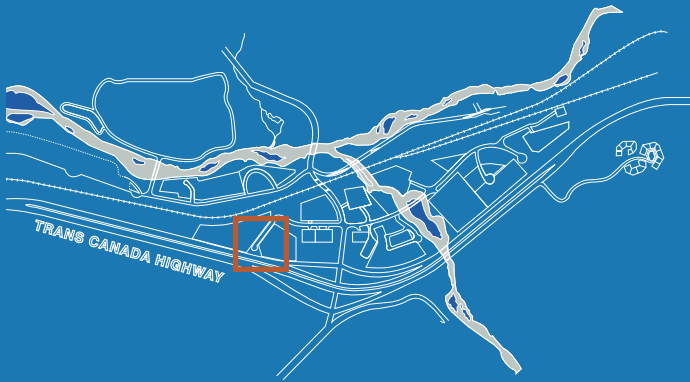


# COMMUNITY CENTRE AND RECREATION GROUNDS

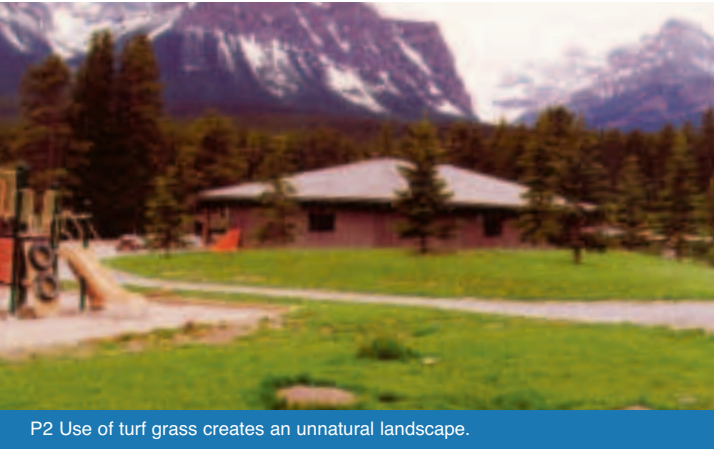
## EXISTING CONDITIONS

This site, at the southeast end of Village Road, consists of a soccer field, skating rink, ball diamonds, tennis courts and a small playground.

- 1. An additional picnic area is required.
- 2. The soccer field requires improvement (i.e., topsoil, seeding).
- 3. The forest along the railway is sparse providing little screening.
- 4. The landscape is predominantly turf grass.
- 5. The sparsely vegetated berm northeast of the cul-de-sac does not screen the view of the Trans Canada Highway.
- 6. Additional screening is required along the TCH.
- 7. The rink is in poor condition.
- 8. The parking area is not well defined.
- 9. The Community Centre is small and serves mainly as a meeting facility. The opportunity for indoor recreation is limited.



P1 Existing Community Centre has limited interior space.



P2 Use of turf grass creates an unnatural landscape.



P3 Rink is in poor condition and parking is not well defined.





# COMMUNITY CENTRE AND RECREATION GROUNDS

## DESIGN INTENT

To provide an attractive, functional area for community services, social and recreational activities.

## ACHIEVING THE VISION

1. Improve soccer field playing surface.
2. Reinforce and revegetate berm adjacent to the Trans Canada highway.
3. Replace turf grass around the Recreation Centre with native vegetation.
4. Define public parking areas along the road and behind the rink.
5. Replace the existing community centre with a larger multi-purpose facility that meets a variety of community needs.
6. Install lights that conform to new lighting standards.
7. Allow a roof over the rink. (N.B. This is not to become an arena; the intent is to make the facility less dependent on the weather.)
8. Pave the rink so it can be used in the summer.
9. Create areas around the multi-purpose building for small scale outdoor activities and gatherings. Provide picnic facilities for staff functions and resident use.
10. Install a privy beside the ball diamonds and tennis courts.

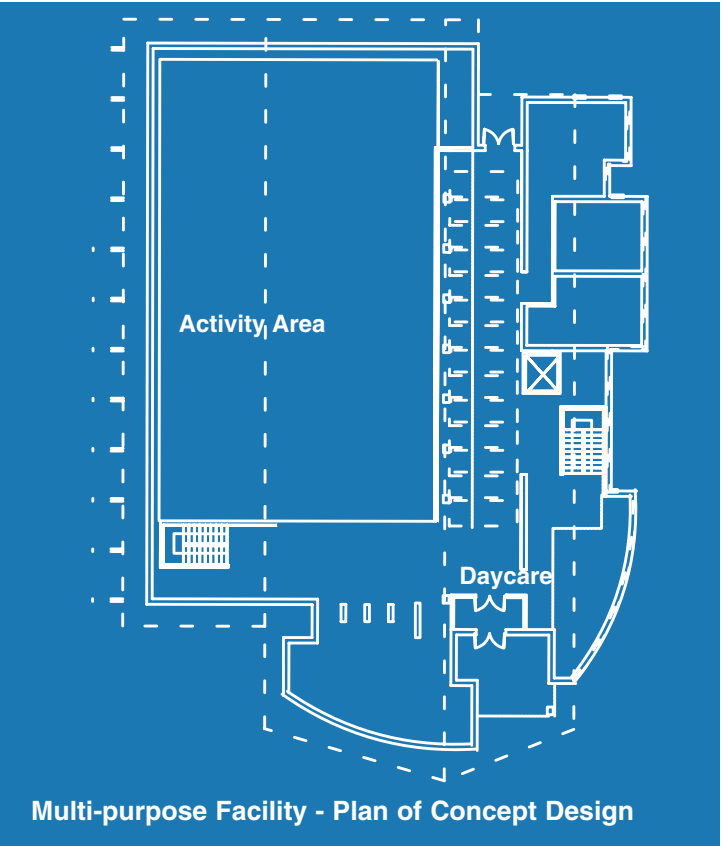
DEVELOPMENT CAP

Institutional Expansion - 1,115 m<sup>2</sup>

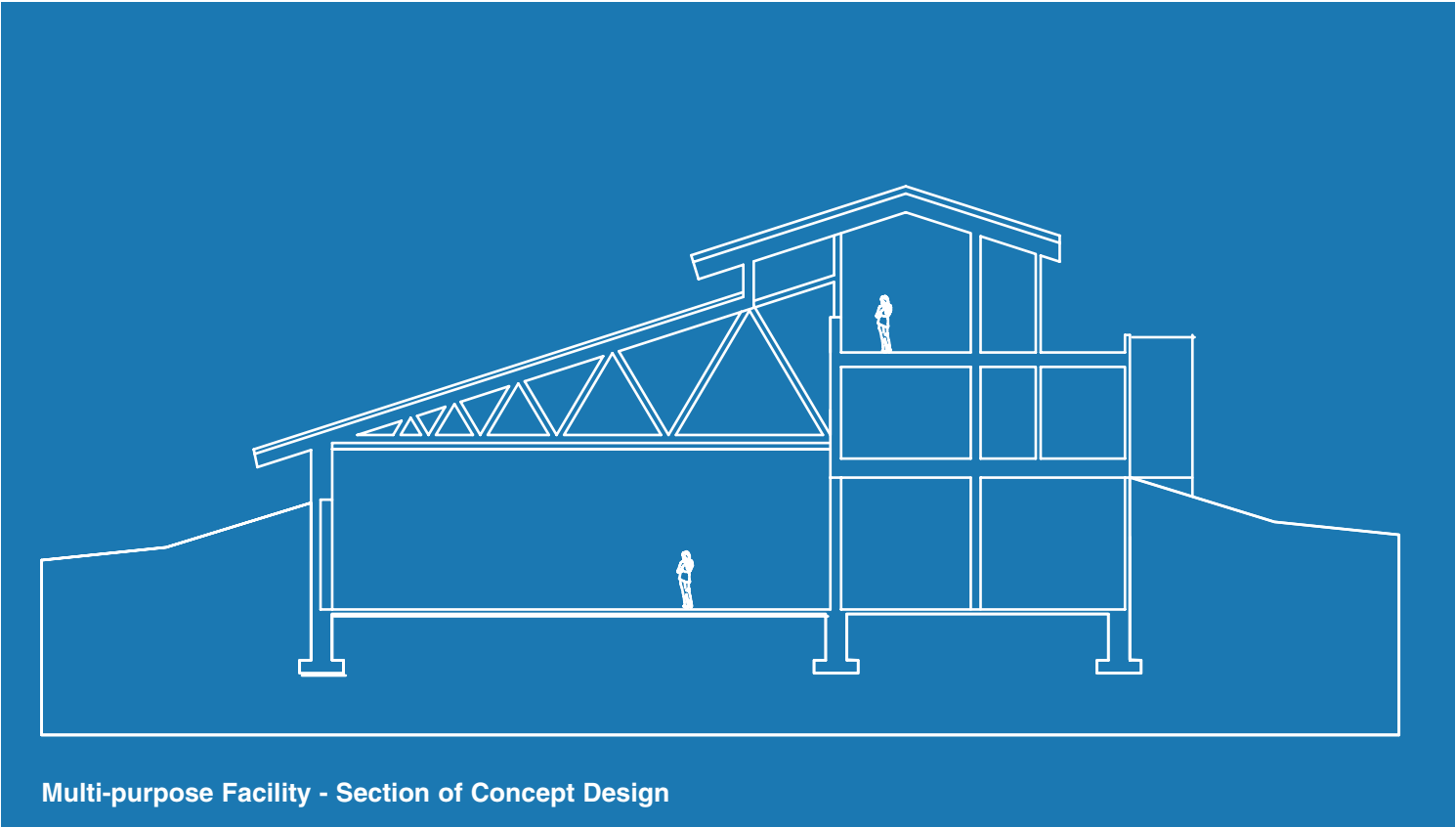




Existing Conditions - Community Centre



Multi-purpose Facility - Plan of Concept Design



Multi-purpose Facility - Section of Concept Design





Achieving the Vision - Artist's Concept, Proposed Building Location and Design for Multi-purpose Facility

## DESIGN REQUIREMENTS

### Multi-purpose Facility

- maximum size of 1,332 m<sup>2</sup>
- maximum height - 10 m - two storeys
- locate in place of the existing structure
- a low visual profile. The multi-activity area should be partially below grade
- contemporary interpretation of mountain style architecture
- follow the guidelines in Part II, Community Character
- natural lighting
- the design of this facility should be flexible to allow for different uses

### Permitted Uses of Facility

- day care, pre-school, kindergarten
- leisure learning activities
- special events (lectures, theatre, music)
- meetings
- small library
- religious assemblies
- offices for community services
- recreational activities (aerobics, volleyball, badminton, basketball, etc.)

### Skating Rink

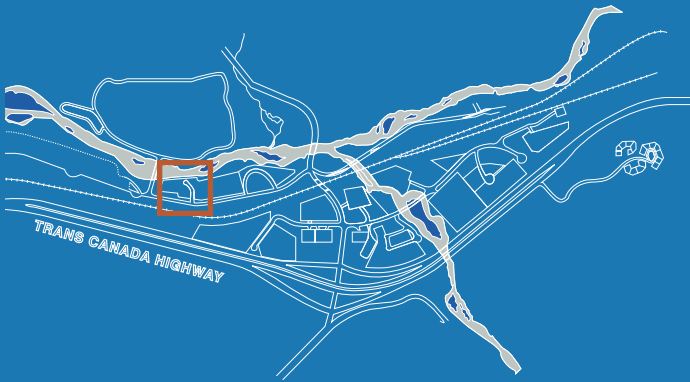
- the size of the roof should only exceed the size of the rink by the amount necessary for support columns
- materials for the structure are to be predominantly wood
- sides of structure are to remain open
- metal roof permitted



# TEMPLE HOUSING

## EXISTING CONDITIONS

1. Parking is inadequate.
2. The vacant site close to the bridge could be used for residential housing. Access must not interfere with campground operations.
3. Access to the site is often blocked when traffic is backed up from the campground entry gate.
4. The A frames are low density, inefficient, and do not reflect the character of the area. They could be replaced with a higher density structure with an appropriate architectural style.
5. The open area north of the two multi-unit buildings can be used for surface parking.
6. The small stone building to the west of the multi-unit buildings is of local historical interest.
7. There is easy access to fine river trails.







# TEMPLE HOUSING

## DESIGN INTENT

- To improve parking and vehicle circulation.
- To provide additional high density residential accommodation.
- To reduce the dominance of automobiles.

## ACHIEVING THE VISION

1. Keep development a minimum 30 m from the river's edge. Ensure consistency with *Land Use Directives* and new boundary.
2. Formalize the edges of all parking lots. Discourage long-term storage of unused vehicles.
3. Provide access to new development through the existing parking lot. This will reduce congestion and problems of access to the site when traffic is backed up from the campground.
4. Reinforce vegetation at the entrance and in buffers between parking areas.
5. Provide additional landscaping on the site to soften the impact of buildings.
6. Provide additional public surface parking. Berm and plant perimeter of parking lot.
7. Provide high density residences. Encourage underground parking for residential units to minimize site coverage and to achieve allowable density on the site. Allow limited surface parking for guests.
8. Provide high density residences.

## DESIGN REQUIREMENTS

### Housing Site K

- up to two structures for a maximum of 63 residents
- maximum height - 10 m - two storeys and occupied attic space
- resident parking - under building and limited surface lots within the site
- visitor parking - in small surface lots on site
- follow the guidelines in Part II, Community Character
- articulate the facade to break up the mass of the building
- respect existing vegetation and terrain when siting the building and parking

### Housing Site L

- up to two structures for a maximum of 46 residents
- maximum height - 10 m - two storeys and occupied attic space
- resident parking - underground, under building and limited surface lots within the site
- visitor parking - in small surface lots on site
- follow the guidelines in Part II, Community Character
- articulate facades to break up the mass and scale of buildings
- respect the existing vegetation and terrain when siting the building and parking
- reconfigure the lease hold

### DEVELOPMENT CAP

Residential Density -	200 bed units/ha
Site Coverage -	50%

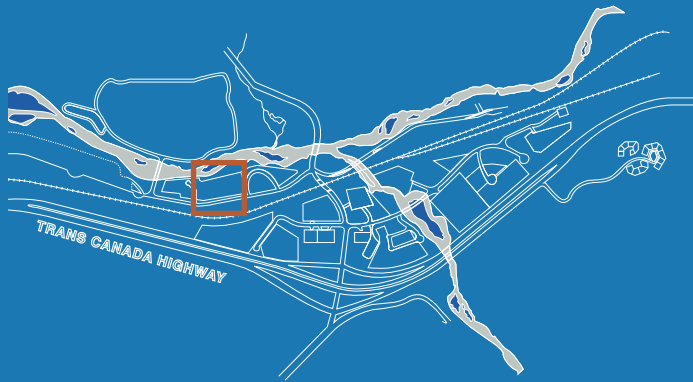


# FAIRVIEW LANE HOUSING

## EXISTING CONDITIONS

The Fairview Lane buildings reflect an appropriate architectural style, scale, and use of materials; however some exterior colours could be enhanced to better complement the natural environment. The surrounding landscape is very open and requires more planting.

- 1. The vacant unvegetated areas on the site are suitable for additional residential units.
- 2. Vegetation separating developments should be preserved.
- 3. Propane tanks require screening.
- 4. Vegetation around buildings is sparse and requires reinforcement.



P1 Propane tanks dominate the view.



P2 Planting around buildings is sparse.



P3 Appropriate architectural style, scale, and materials.



P4 Appropriate use of building materials.





# FAIRVIEW LANE HOUSING

## DESIGN INTENT

To provide additional residential accommodation while maintaining the character of the site.

## ACHIEVING THE VISION

1. Allow additional housing northwest of the existing parking lot.
2. Maintain views from existing buildings.
3. Ensure there is no increase in the area devoted to surface parking.
4. Preserve and reinforce vegetation between developments.
5. Plant trees around buildings and in open areas to reduce the visual impact of developments.
6. Screen propane tanks.

## DESIGN REQUIREMENTS

### Housing Site M

- two buildings with senior units in each for up to 21 residents
- maximum height - 10 m - two storeys plus occupied attic space
- parking - surface in attached garages
- follow the guidelines in Part II, Community Character
- ensure setbacks from the river and from utilities meet requirements; these setbacks severely limit the footprint

### DEVELOPMENT CAP

Residential Density - 110 bed units/ha  
Site Coverage - 50%

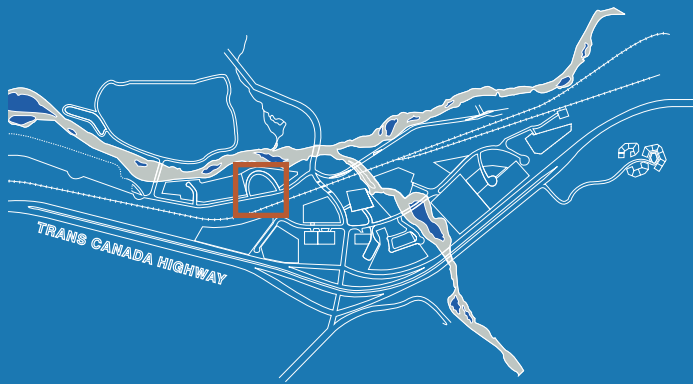


# PINNACLE HOUSING

## EXISTING CONDITIONS

The site is located on Fairview Road in the southeast area of the hamlet. Housing varies in density, scale, and appropriateness of architectural style. Parking and circulation are problematic.

- 1. Screening of adjacent properties is inadequate.
- 2. Forested area is an important amenity.
- 3. Vacant sites are available for development.
- 4. Buildings lack detail and articulation.
- 5. Sparsely planted and disturbed areas require attention.
- 6. Vehicles are frequently parked on the side of the road.
- 7. Parking lot is underutilized.



P1 Appropriate architectural style.



P2 Utilities and parking would benefit from screening.



P3 Potential building site.





# PINNACLE HOUSING

## DESIGN INTENT

- To improve the landscape of the site.
- To resolve parking problems.
- To provide additional housing.

## ACHIEVING THE VISION

1. Allow one additional duplex of the same size, scale, colour, and materials as the adjacent duplexes.
2. Reinforce the site boundary with dense planting. Retain the children's play area.
3. Landscape around garbage containers.
4. Retain open space and vegetation.
5. Reinforce vegetation to screen Fairview Road; landscape around buildings with native vegetation.
6. Provide parallel parking spaces with planted bull-noses along Fairview Road.
7. Allow area residents to use the government parking lot.

### DEVELOPMENT CAP

Residential Density -	140 bed units/ha
Site Coverage -	50%

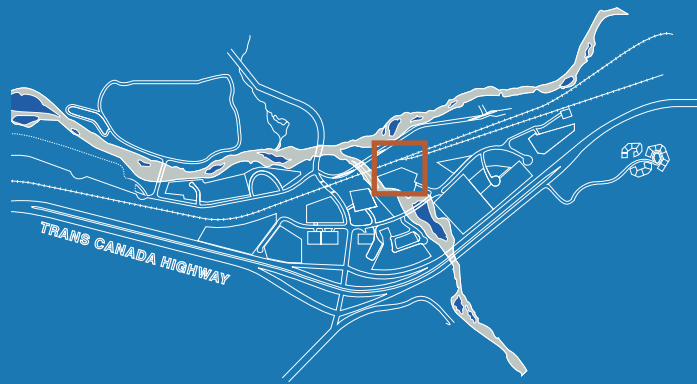


# EAST RAILWAY AREA

## EXISTING CONDITIONS

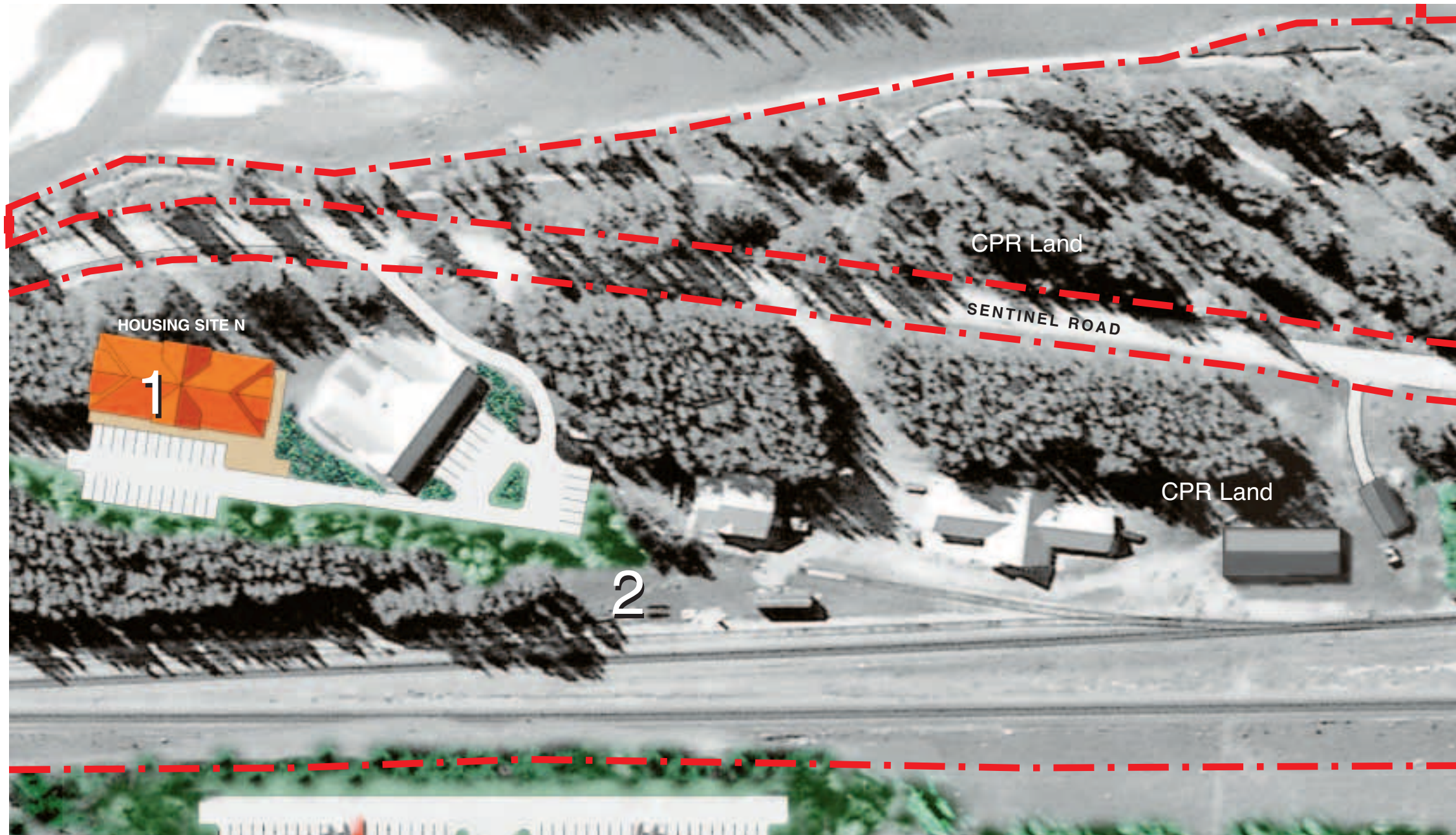
The area is predominantly railway land. Housing on railway lands is operated under leases with the Canadian Pacific Railway, not Parks Canada. While heavily disturbed, this area has mature stands of trees that adequately screen the site. Railway operations may have contaminated the site. If testing reveals no hazardous materials, the area is suitable for development.

- 1. Canadian Pacific Railway has indicated that all railway lands are required for railway purposes at this time
- 2. A vacant area adjacent to existing development could be used for additional staff housing.
- 3. The site may contain hazardous waste.



CPR Land Boundary





## DESIGN REQUIREMENTS

### Housing Site N

- a building with single and shared units for up to 22 residents
- maximum height - 9 m - two storeys
- screened, surface parking
- ensure proper setbacks from rail line and road
- locate building in existing open space to minimize tree removal
- ensure the design and location of buildings reinforce the railway motif and follow the guidelines in Part II, Community Character
- use details such as large soffits, brackets, and overhangs
- plant native vegetation to selectively screen the building and integrate it with the surrounding landscape



## EAST RAILWAY AREA

### DESIGN INTENT

To respect the operational needs of the Canadian Pacific Railway while identifying potential future alternative uses.

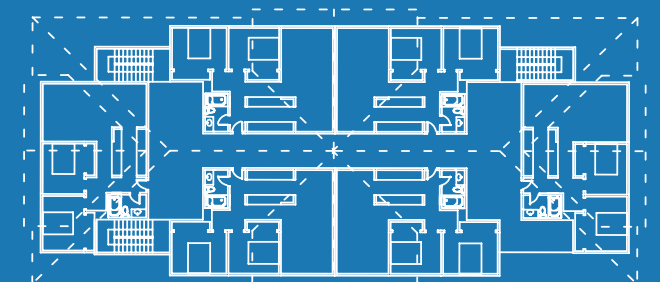
To provide additional residential accommodation.

To improve the environmental quality of the site.

### ACHIEVING THE VISION

1. Allow one new building for staff housing.
2. Complete the railway yard hazardous material assessment before preparing the concept for staff housing.

### CONCEPTUAL PLAN



#### DEVELOPMENT CAP

Residential Density - 140 bed units/ha  
Site Coverage Ratio - 50%

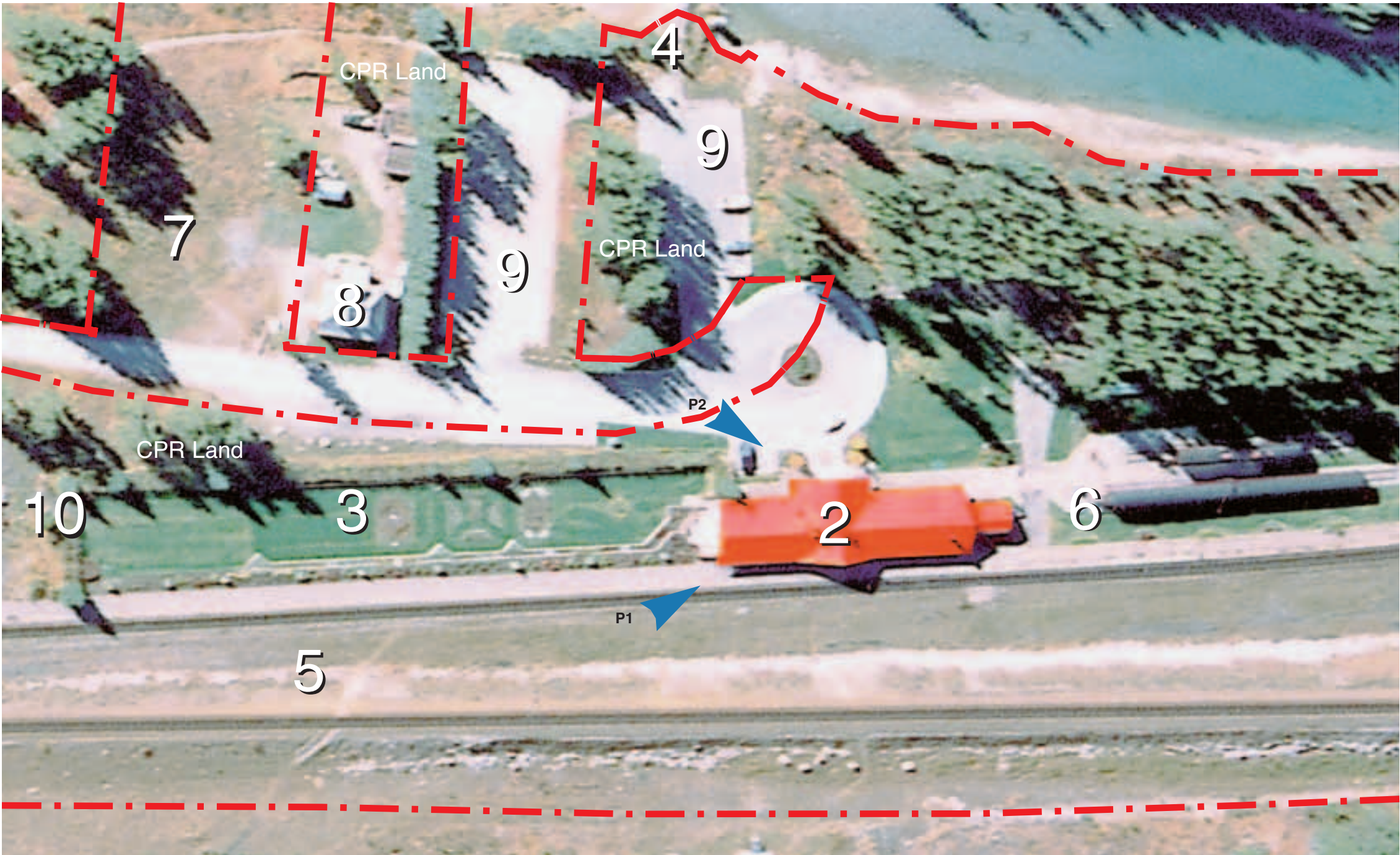
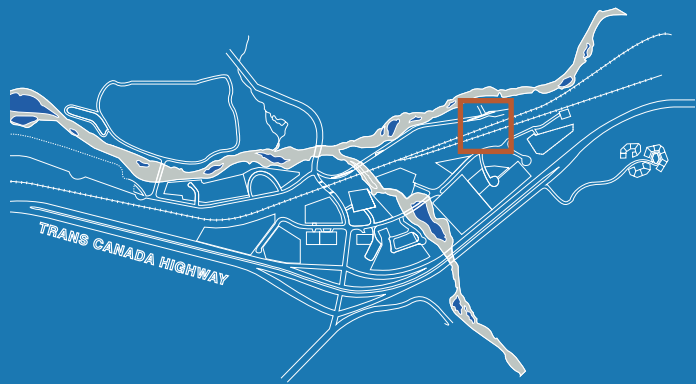


# WEST RAILWAY AREA

## EXISTING CONDITIONS

The west railway area is dominated by the former railway station. The majority of the lands belong to the railway. The station has been converted to a restaurant. The restaurant and associated operations are operated under a lease arrangement with the Canadian Pacific Railway, not Parks Canada. The station is one of the original structures in Lake Louise and offers a historical precedent for future development.

- 1. Canadian Pacific Railway has indicated that all railway lands are required to for railway purposes at this time.
- 2. The designated heritage railway station provides a positive experience consistent with the heritage tourism strategy. An Order in Council guides redevelopment of the station.
- 3. Traces of the historical railway garden remain.
- 4. The pedestrian bridge across the Bow River is underutilized.
- 5. Pedestrian access across the tracks to the hamlet is dangerous.
- 6. Existing development of the station and the rail cars respects the character and scale of the heritage station.
- 7. Vacant site could be used for residential housing.
- 8. Building needs repair.
- 9. Parking is adequate and convenient but is too close to the river, creating the potential for contamination.
- 10. There is little or no site interpretation other than of the restaurant and rail cars. The original tram connection to Upper Lake Louise is not recognized nor is there information regarding the original use of the site.

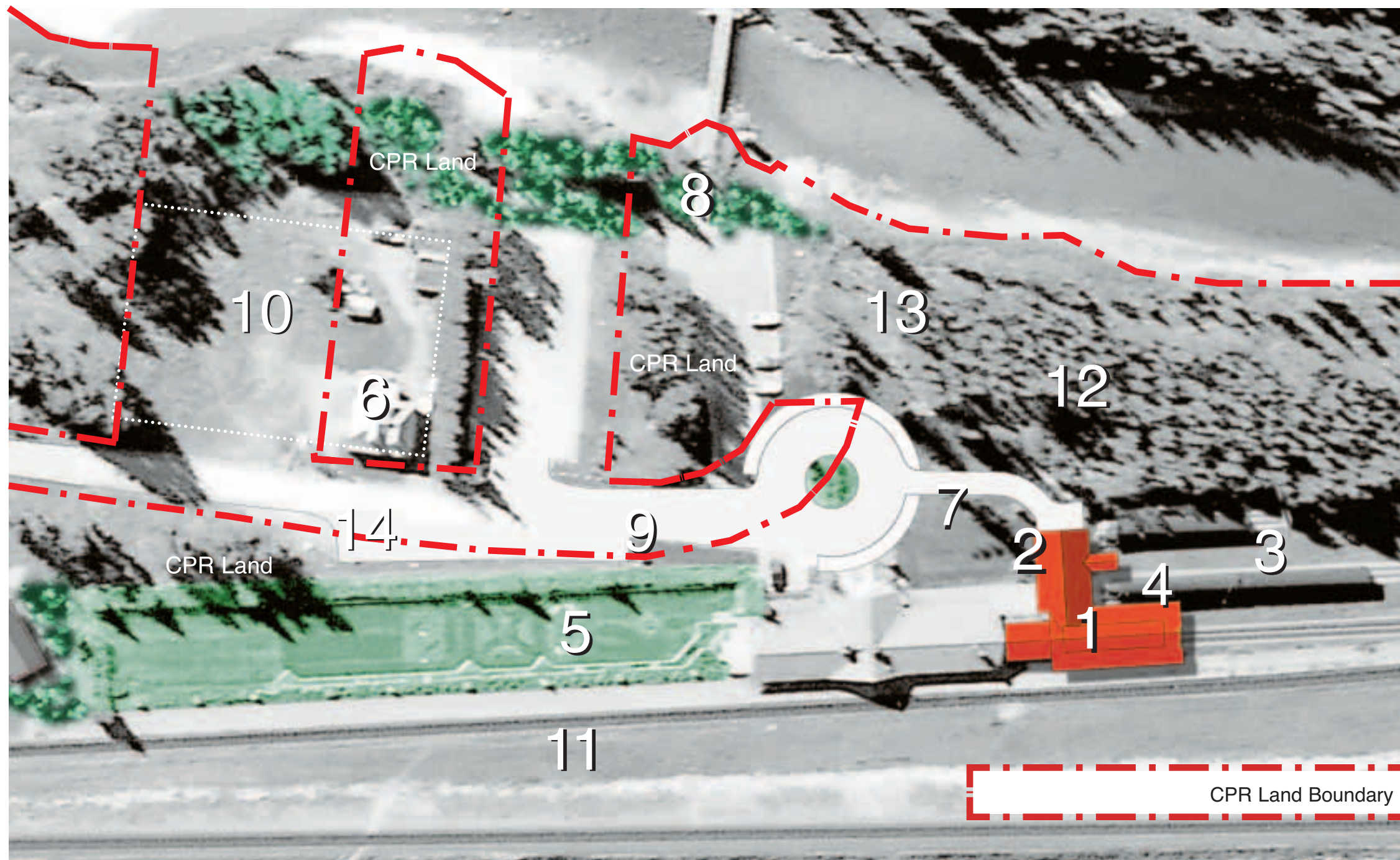


P1 The historic Lake Louise Train Station.



P2 Historic benches serve as a design precedent.





## WEST RAILWAY AREA

### DESIGN INTENT

To respect the operational needs of the Canadian Pacific Railway while identifying potential future alternative uses.

To reflect the historical significance of the Train Station and the rail line.

To protect the heritage characteristics of the Train Station and associated historic features while allowing development consistent with the Order in Council.

To provide residential housing if required.

To interpret the role the station and the CPR played in the evolution of Lake Louise.

### ACHIEVING THE VISION

1. Permit the completion of the Train Station developments as identified in the Order of Council while ensuring that heritage values are maintained. This includes expanding the dining area, relocating the kitchen, and building a 'conservatory-like structure' for retail or interpretation use. Encourage the operator to pursue the concept shown as an alternative to the one considered as part of the preparation of the Order in Council. Commercial accommodation will not be permitted.
2. Limit additional commercial floor area to maximum of 476 m<sup>2</sup>.
3. Encourage further addition of historic railway cars for interpretation or dining. Locate additional 'cars' parallel to the track and in line with existing cars.
4. Protect the view of the railway cars from the courtyard.
5. Encourage establishment of a railway garden based on historic precedent.
6. Renovate the existing staff house while maintaining its heritage values.
7. Maintain service access to the building for deliveries.
8. Protect the riparian environment; reduce the size of parking lots beside the river and restore with native vegetation.
9. Use signs around the stations grounds to interpret the history of the railway and the tram line.
10. Reserve site for potential not-for-profit rental housing (housing reserve). Ensure setback requirements from the river are met.
11. Use landscaping to discourage pedestrians from crossing the railway tracks.
12. Preserve trees.
13. Consider limited, small scale staff housing in the area. Housing development must respect new hamlet boundary, utilize disturbed terrain where practical, and minimize the removal of trees. Housing must respect all guidelines in this document.
14. Formalize parking area.

### DESIGN REQUIREMENTS

#### Train Station Dining Area

- relocate kitchen in an addition on the side of the building and screen with vegetation
- ensure the design of the addition complements the existing structure but is easily recognized as 'new' and not part of the historic building. Use materials that reflect the existing station.
- limit the height of the addition to that of the existing building
- retain the main entry to the existing building as the primary entrance. Access to the new addition should be through this point.

#### Historic Gardens

- base plant selection on historical precedents or appropriateness given the overall design, climactic conditions, and palatability to wildlife
- prohibit the use of invasive species

#### Housing Reserve

- 16 single/12 multi units
- maximum height - 10 m - two storeys
- screen surface parking
- respect required setbacks from the river and the road
- use existing open space to avoid the removal of trees

- reflect existing train station architecture and detailing to create a series of buildings with a distinctive identity
- use details such as large soffits, brackets, and overhangs
- use native vegetation to selectively screen the building and visually integrate it into the surrounding landscape

#### DEVELOPMENT CAP

Commercial Floor Area Expansion -	476 m <sup>2</sup>
Residential Density -	140 bed units/ha
Site Coverage Ratio -	50%



# HARRY'S HILL AREA

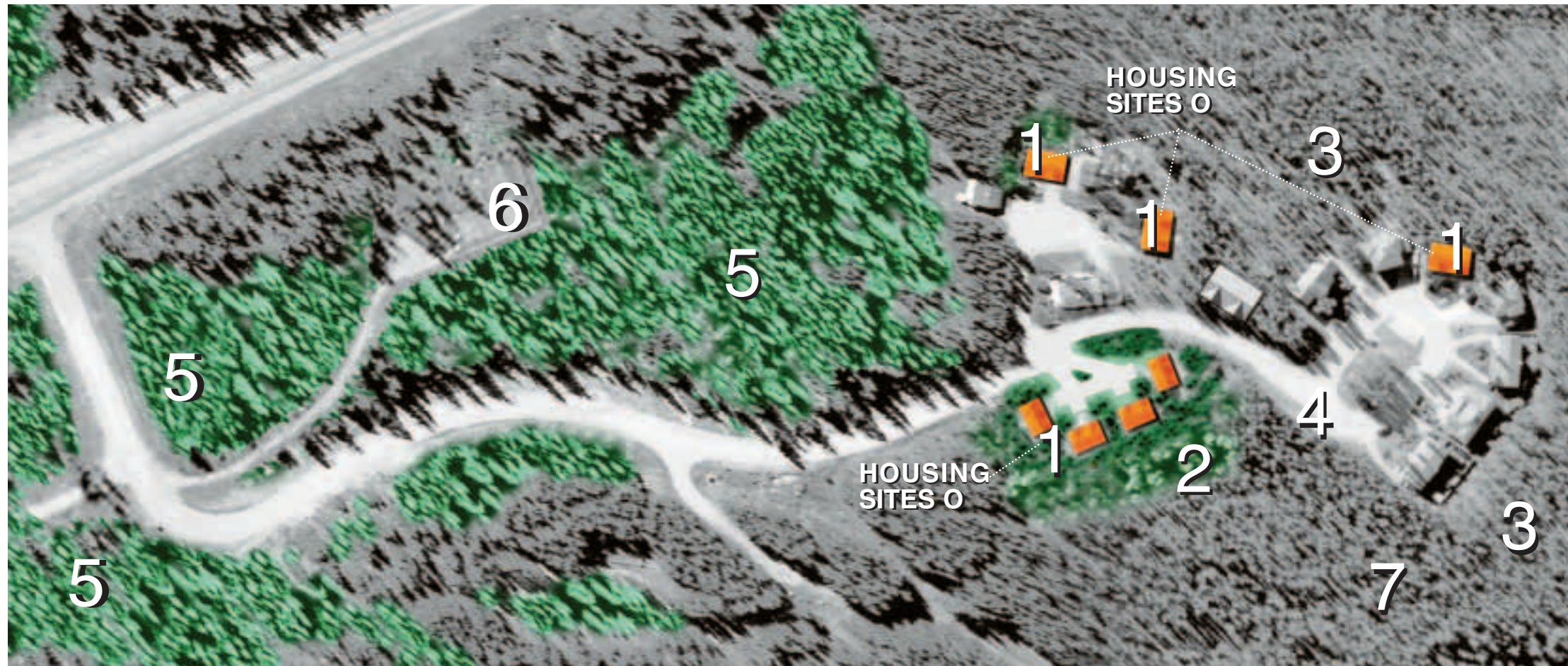
## EXISTING CONDITIONS

Harry's Hill is located across the Trans Canada from the Hamlet. The site consists of single-family homes and duplexes.

- 1. Several dwellings are in poor condition.
- 2. The site is situated next to a major wildlife corridor. An assessment of the impact of Harry's Hill concluded that minor infilling will not create environmental problems.
- 3. Landscaping around homes is predominantly turf grass.
- 4. Disturbed vegetation requires restoration/reclamation.
- 5. The tennis courts are out of context and difficult to reach from the Hamlet.
- 6. Access to the Harry's Hill area is a problem. Residents must cross the TCH at a dangerous intersection. Future twinning of the highway will eliminate the ability to turn left.
- 7. Existing single-family bungalows are not an efficient use of the site and are in poor condition.







## HARRY'S HILL AREA

### DESIGN INTENT

To provide quality employee housing that respects its surroundings.

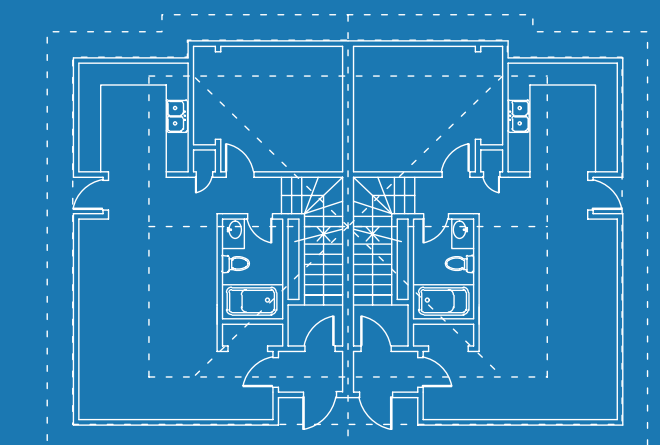
To allow limited infilling without increasing the boundary or changing the character of the area.

To provide a safe environment for residents.

To minimize the effect of development on native vegetation and wildlife.

### ACHIEVING THE VISION

1. Replace bungalows with duplexes or fourplexes.
2. Landscape around all units with native vegetation that is unpalatable to elk and bears.
3. Protect vegetation between development and wildlife corridor.
4. Minimize lighting and other nuisances that would have a negative impact on wildlife movement and use of the area.
5. Restore/reclaim all disturbed sites if lands not needed for public transportation parking.
6. Assess the importance and use of the tennis courts. If they are not essential to the community, remove and revegetate the area. Reclaim the area around the tennis courts.
7. Monitor wildlife activity in the area and ensure all residents are aware of wildlife concerns.



New Fourplex Plan

#### DEVELOPMENT CAP

Residential Density -	120 bed units/ha
Site Coverage Ratio -	55%

## DESIGN REQUIREMENTS

### Housing Site O

- buildings with two to four senior units in each
- maximum height - 10 m - two storeys plus occupied attic space
- resident parking - surface lots, under building
- visitor parking - in small surface lots and lay-bys on the roadways
- respect existing building footprint
- follow the guidelines in Part II, Community Character



Existing Site



Artist's Concept - Duplex Design



# CAMPGROUND / TRAILER COURT

## EXISTING CONDITIONS

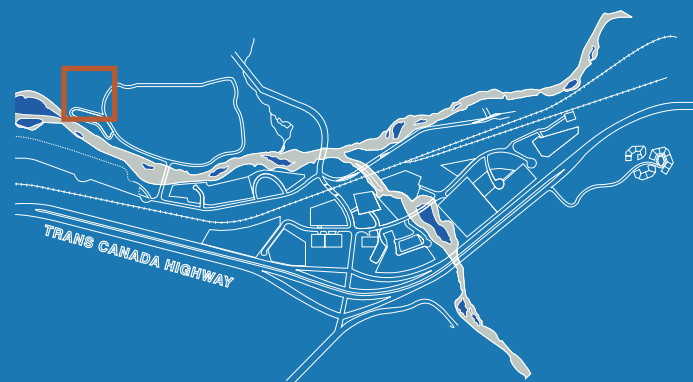
### Campground:

This 409 site campground is full each night from the third week in June to the first week in September. Nightly occupancy, based on 3 persons per site, is 1227 people. An overflow campground is located east of the Hamlet along the TCH. Its capacity is 50 vehicles/night during a ten week period in the summer. Recently a wildlife movement route along the Bow River has been identified.

1. Bears are common in this area, and there are occasionally incidents in the campground. Periodically the tenting area has had to be limited to hard sided vehicles because of bear activity. Public education encourages visitors to manage food and waste properly. However, bear habituation continues to be a concern.
2. Showers have recently been developed.
3. The campground could be a model of environmental stewardship.
4. During temperature inversions, campfire smoke can be a problem.
5. Some trail erosion occurs next to the river during spring runoff.
6. There are some conflicts on the river trail between pedestrians and cyclists.
7. The current overflow campground may need to be removed as a result of potential TCH improvements.
8. A separate planning process is addressing the issues associated with the campground, grizzly bear activity and wildlife movement.

### Trailer Court:

9. The trailer court will be removed when the license of occupation expires in 2005.
10. The sewage lines are old.



P1 Demand for additional facilities has increased.

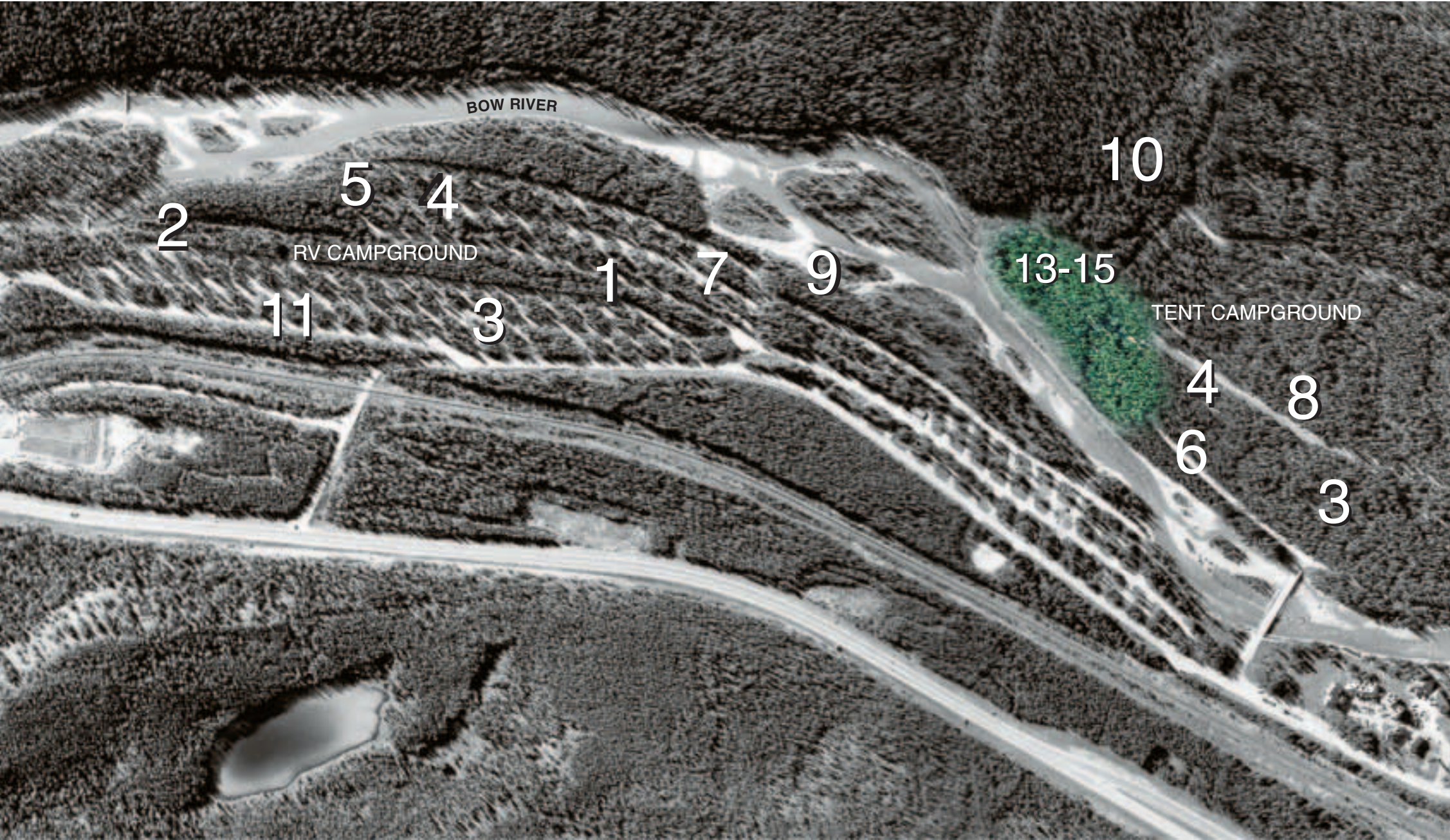


P2 The Trailer Court.



P3 The campground can serve as a model for environmental stewardship.





# CAMPGROUND/ TRAILER COURT

## DESIGN INTENT

To continue to provide a quality camping experience and an economical place to stay.

To minimize bear habituation and incidents.

To showcase the campground as a model of environmental stewardship.

To implement the direction in the management plan for removal of the trailer court.

## ACHIEVING THE VISION

### Campground:

1. Restrict the campground to its current capacity and number of sites in the area. Reduce the number of sites if it improves the camping experience or makes the operation of the campground more efficient.
2. Ensure campers have current bear information and follow appropriate food and waste management practices.
3. Ensure campground staff are informed about bear issues and current activity. Continue campground patrols to ensure sites are kept clean.
4. Ensure waste management, particularly in the tent campground, does not attract bears or other animals.
5. Provide a place for campers to wash dishes and dispose grey water. Investigate the feasibility of providing laundry facilities.
6. Continue to monitor camper satisfaction and trends. Make adjustments to services where appropriate.
7. Develop and implement an environmental stewardship program based on the principles outlined in the Environmental Stewardship section of this plan.
8. Introduce measures to reduce firewood consumption. Include steps to improve the quality of firewood (cover it, ensure it is cured, use of hard woods, etc.).
9. Improve sections of the riverside trail that frequently wash out.
10. Adjust campground operations if necessary to address human/wildlife conflicts; consider fencing.
11. Encourage campers and particularly RV operators to use public transportation to Upper Lake Louise as it becomes available.
12. Reassess the need for the overflow campground, its capacity and the potential for a new location.

### Trailer Court:

13. Implement the housing strategy (Part III "A Place For Community") for trailer owners. Rigidly apply the terms and conditions of the license of occupation. Remove trailers sooner than 2005 when opportunities exist, without imposing undue hardship on residents.
14. Monitor sewage pipes and repair as needed.
15. Reclaim the area with natural vegetation. Maintain links to the trail system.



# PARADISE BUNGALOWS

## EXISTING CONDITIONS

This well maintained example of 1930s holiday bungalows is located in a natural setting. The site is attractive and is an important heritage resource. It is one of the last of the bungalow camps whose original character has not been diminished by large-scale development.

- 1. The existing character of the cottages and surrounding landscape should be maintained and enhanced.
- 2. The scale of the road between holiday cottages should be used as a benchmark for further development on the site.
- 3. Signs and the entrance to the site are appropriate and should be used as an example for future development or enhancement.
- 4. Efforts to enhance the view across the valley have resulted in the inappropriate pruning of trees.
- 5. The parking area behind the new buildings lacks definition and sufficient vegetation.
- 6. Both the site, the layout of the cottages, and the rustic character of the buildings are important cultural heritage resources.
- 7. Thinning of forest fuels is required to reduce risk of wildfire.
- 8. The site is located in an important wildlife corridor.



P1 Existing character of bungalows and surrounding landscape is a major feature of this site.



P2 Entrance piece is an appropriate precedent.



P4 Log structures should be maintained in their present form.

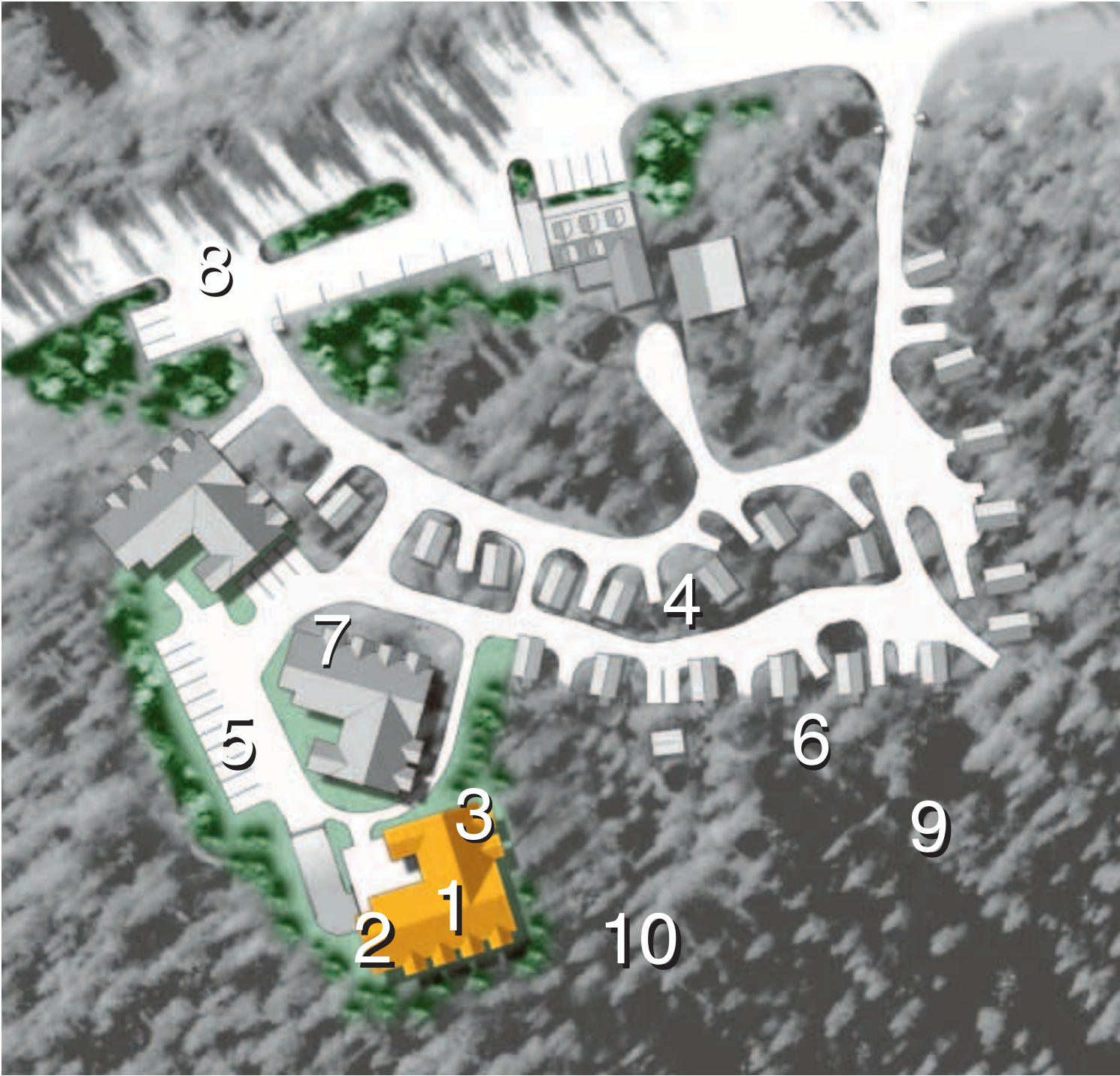


P5 Appropriate scale, articulation, and detail.



P3 Appropriate architectural design.





DESIGN REQUIREMENTS

New Commercial Accommodation

- building to match existing lodges in height and size
- underground parking for a minimum of 12 vehicles
- duplicate the style used in previous additions

Cabins

- retain the historic character of the cabins
- ensure all renovations or repairs respect the existing style, materials, and scale
- allow minor upgrades that do not change the overall appearance of the cabin

PARADISE BUNGALOWS

DESIGN INTENT

- To retain the existing character of the site.
- To protect the heritage values of the site.
- To allow a minor amount of commercial expansion.

ACHIEVING THE VISION

1. Permit the development of a new building with a maximum of 12 new rooms. Underground parking must be provided if a new lodge building is developed.
2. Limit additional commercial floor area to a maximum of 650 m<sup>2</sup>.
3. Locate new commercial accommodation east of the existing parking lot; reconfigure the lease accordingly. The size of the lease will not increase.
4. Retain all cabins, their external rustic character and existing site layout. Cabins can be modernized to ensure they remain economically viable.
5. Reconfigure parking lot. If practical, locate some parking underground.
6. Adjust tree pruning practices to ensure vegetation remains healthy and natural looking.
7. Reduce the impact of exterior lighting. Follow lighting guidelines in Part II, Community Character.
8. Use the front parking area more effectively.
9. Prepare and implement a forest fire protection strategy. This can include careful, selective removal of vegetation to reduce forest fuels. In the removal of vegetation, improve the view from the bungalows while retaining aesthetic values.
10. Ensure expansion and forest fire protection strategies do not further compromise wildlife movement and activity in the Fairview Wildlife Corridor.

DEVELOPMENT CAP

Commercial Expansion -	650 m <sup>2</sup>
Site Coverage Ratio -	46%
Average Number of Guests/Night -	160
Total Number of Rooms -	57
Occupancy Rate -	2.8 guests/night/room



# DEER LODGE

## EXISTING CONDITIONS

The Deer Lodge site is made up of eight separate leases, each with different uses and conditions. A number of these are restrictive. The site consists of six separate buildings which were added over time. Problems at the site include vehicle circulation, the dominance of parking and a landscape that does not reflect the historical character of the original lodge. The lodge at one time had 108 guest rooms. The lodge currently has 73 guest rooms.

- 1. The architectural style of the hotel is inconsistent.
- 2. The Rocky Mountain Tour Garage is a historic resource that should be considered for adaptive reuse.
- 3. The Inglenook cafeteria is out of character with the hotel.
- 4. Parking and circulation require redesign. Planting and screening would improve the appearance of the site.
- 5. Kitchen addition should be screened.
- 6. The access intersection requires realignment.
- 7. The appearance and condition of additions should be improved. Some require reconstruction.
- 8. Development is spread out, disturbing more of the landscape than necessary.
- 9. Road right-of-ways are not part of the leasehold but are used for parking and other leasehold purposes.
- 10. Staff accommodation requires major reconstruction to meet established standards.
- 11. Fifteen lots were surveyed in the early 1900s but have never been developed. There is no intention to release these lots for future development.



P1 The original hotel is of historic significance.

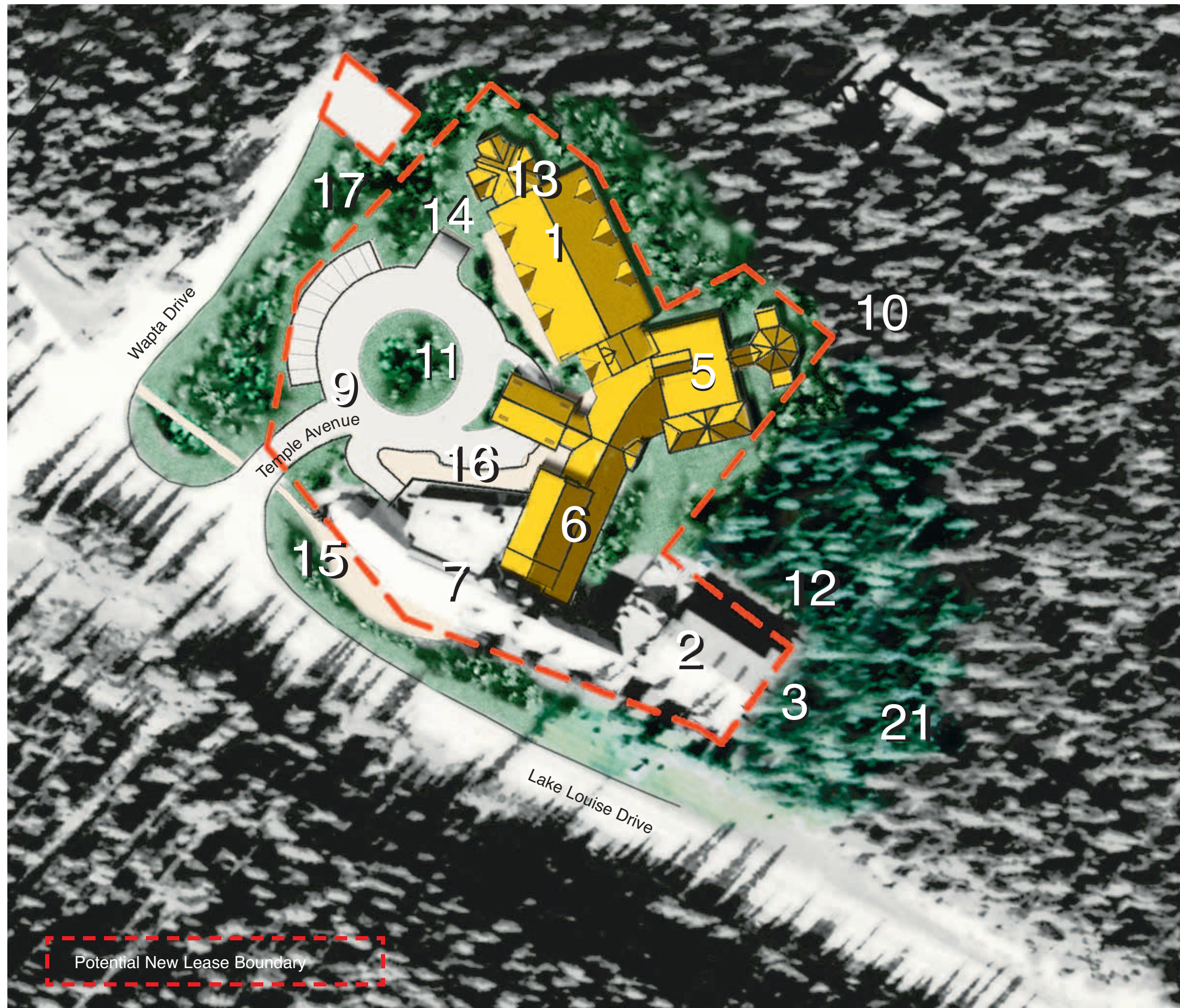


P2 Additions should be consistent with the original structure.



P3 Use of natural materials and architectural details.





## DEER LODGE

### DESIGN INTENT

- To retain the heritage character of the site.
- To allow lodge expansion.
- To improve the aesthetics of the site.
- To consolidate development and leasehold area.
- To preserve and enhance the natural vegetation.
- To improve staff housing.

### ACHIEVING THE VISION

1. Allow the development of an additional 15 guest rooms.
2. Allow the consolidation of existing guest rooms into larger units.
3. Allow the removal of older buildings not identified in the BHRDA. With the removal of the older buildings and redevelopment of existing rooms, allow the development of a new structure to accommodate new guest rooms and replacement of rooms lost in the existing lodge.
4. Relocate most staff housing to the Hamlet. Improve staff housing that remains on site.
5. Permit the development of meeting space to serve hotel guests. The maximum size of meeting space must be appropriate in size to the hotel and respect the intent of the "Guide to Appropriate Services" (page 43). The maximum size of meeting space will be determined by applying an industry norm for Lake Louise, being a percentage of sq m meeting space to number of guest rooms.
6. Limit additional commercial floor area to a maximum of 960 sq m. Commercial floor area (existing and new) is defined as including all space used to support commercial operations excluding staff housing and underground parking.
7. Protect all Deer Lodge heritage values as identified in the BRHDA for Lake Louise. Ensure that new development is influenced by and complements the heritage values, but does not replicate historical styles and details. Avoid homogenizing the site so that it appears to derive from one period.
8. Consider integrating the former Rocky Mountain Tour Garage into hotel operations if heritage values are protected and presented (as identified in the BHRDA and Condition Assessment Report, 2000) and it is practical to do so. If the facility is integrated into hotel operations, manage it through adjustment to the lease. If it is not integrated into the lease, Parks Canada will reassess the future of the building.

(continued on page 110)



## ACHIEVING THE VISION (cont'd)

9. Integrate the portion of Temple Avenue right of way from approximately its junction with Lake Louise Drive to the middle of Lot 10, Block 4 into the lease. If the Rocky Mountain Tour Garage is integrated into the leasehold, then permit a minor portion of Hillside Avenue and Lot 9, Block 5 to be also added to the leasehold to facilitate effective hotel operation. If leasehold size is increased, the additional area will be excluded from any aspects associated with calculation of size and scope of development.
10. Remove Lots 8 and 9 in Block 4 from the leasehold area. Remove a major portion of Lot 10 in Block 4 from the leasehold area if not needed for staff housing. The operator will rehabilitate and return the lands to Parks Canada.
11. Consolidate leases into one and reconfigure the leasehold. Total area of the new leasehold must reflect adjustments as a result of actual changes that occur from applying the preceding guidelines (above). In general terms the footprint of the leasehold should be consolidated "inwards" rather than expansion "outwards". All leasehold activity must take place on the lease. The new lease will be modernized and reflect limits and conditions identified in the *Lake Louise Community Plan* and the *Implementation Guidelines*.
12. Permit demolition of the east wing of the lodge and replace it with a new structure or make landscape improvements.
13. Consider minimizing the building footprint of the new building by continuing to utilize a significant portion of the main lodge for guest accommodation, utilizing the existing masonry building for enlarged guest suites and double loading of the rooms on the main floor of the potential new building.
14. Place as much parking underground as is practical. All parking requirements must be met on site. Prohibit use of public parking lots for staff and guests.
15. Improve existing entry into the main lodge.
16. Adjust the entry road to provide access to the new entry/lobby of the expansion.
17. Screen new development along Wapta Drive.
18. Implement a water conservation program for the operation. Water consumption must not exceed 2001 consumption levels. Water conservation initiatives should be a part of the design of new buildings and the retrofit of existing buildings.
19. Encourage the development of modest terraces to take advantage of views.
20. Provide a real property report to confirm the amount and nature of existing development on the site prior to the review of development proposals.
21. Decommission the old villa lots (not part of the leasehold). These lots are not to be developed and are to remain in a natural state.



Existing Conditions - Deer Lodge





DESIGN REQUIREMENTS

Hotel Expansion Building

- an occupied roof is recommended. An unoccupied roof should be integrated with the lower storey to reduce the height and scale of the building. New buildings are limited to a maximum height of three stories, including occupied attic space.
- the use of dormers and stepped roof forms, combined with natural materials such as stone, wood shakes and wood siding is recommended.
- the new expansion should take advantage of views to the west and south of the building.
- mechanical louvers for building services will be painted or coated to blend with exterior finishes and screened with vegetation.
- the building should complement the architectural character of the existing historic main lodge
- brick veneer should match the veneer on the existing building
- windows should match those used in existing building, with an emphasis on casement multi-paned units.

- all exposed retaining walls are to be clad in either stone or brick veneer to match existing building masonry. Walls should be screened with planting where possible.

Staff Accommodation and Facilities  
(Block 4 Lots10-11)

Several options are available:

1. Renovate the existing Masonry Room portion of the lodge and provide staff accommodation in existing guest rooms. In addition, demolish existing staff accommodation wing and replace with a new structure housing staff amenities.
2. Demolish existing Masonry room and existing staff accommodation wing, and replace with new staff accommodation structure not exceeding three storeys in height including occupied attic space.
3. Demolish existing staff accommodation and relocate all or a portion of it to the Hamlet.

*Building Guidelines for Staff Accommodation on the Deer Lodge Site*

- the design of staff accommodation should consider the visual impact from Lake Louise Drive
- rooflines of the building should reduce the visual scale of the building (see Architectural guidelines)
- if staff accommodation is redeveloped on the leasehold, continuity of scale and materials must be maintained
- windows and doors should be detailed to match the main hotel structure

DEVELOPMENT CAP

Commercial expansion	960 m <sup>2</sup>
Site Coverage Ratio -	63%
Average Number of Guests/Night -	176
Total Number of Rooms -	88
Occupancy Rate -	2 guest/night/room



## CHATEAU LAKE LOUISE EXISTING CONDITIONS

The Chateau Lake Louise and its backdrop, Lake Louise and the Victoria glacier are a national icon. Since the early days of the national park, the hotel and its services have provided a staging area for millions of visitors to appreciate the dramatic mountain environment. The hotel's history reflects the evolution of Banff National Park itself. The hotel can continue to play a major role in heritage tourism while reducing its impact on the immediate environment. Care must be taken to ensure the area continues as a symbol of Canada and its national park system.

1. The lakeshore and related facilities are crowded during the summer. The promenade is in need of repair.
2. The hotel has approval for the development of a Meeting Facility. A building permit has been issued for its construction.
3. The hotel has significantly altered the natural landscape.
4. Hard landscape development occurs adjacent to Louise Creek and may be influencing the stream and streamside ecology.
5. The health of the lake and Louise Creek needs to be maintained.
6. The front gardens require redesign to minimize the potential spread of non-native species. There are few areas where visitors can eat outdoors.
7. The pool area requires repairs.
8. Major view points require redesign and rebuilding to accommodate the large number of visitors.
9. There are few references to the history of the site, the hotel, and its gardens.
10. The entry court lacks a sense of arrival suitable to a grand hotel. Bus parking areas are open and exposed.
11. Luggage cupola/storage area is architecturally out of character and interrupts fine views across the valley from the hotel entrance.
12. Lawns along the entrance road are inappropriate.
13. Many areas require reclamation/reforestation.
14. Trail adjacent to Louise Creek has a negative effect on the riparian environment.
15. Hillside bungalow requires renovation and rehabilitation of the surrounding landscape.
16. The Schloss building parking area requires additional landscaping.
17. New staff housing has recently been added to resolve crowding and poor living conditions. Additional housing may be required in the future.
18. The area near the old Boiler Building has hydrocarbon impacted soils. The extent of these soils is believed to be minimal.
19. The lease hold has recently been reduced by 8.3 ha and new leases put in place.







# CHATEAU LAKE LOUISE

## DESIGN INTENT

To preserve Lake Louise as a symbol of Canada's National Park system.

To reduce the impact of development and ensure no net negative environmental impact on adjacent lands as a result of expansion.

To preserve and enhance the site's natural vegetation.

To improve the quality of visitor experiences.

To support heritage tourism.

To ensure commercial expansion does not have an adverse impact on summer crowding.

## ACHIEVING THE VISION

1. Permit the conversion of rooms to suites and a maximum increase of 52 rooms from the 1996 inventory of 511.
2. Ensure hotel operations have no adverse affects on the health of the Lake, Louise Creek and other aquatic resources.
3. Permit the redevelopment of the old pool site and improvements to health facilities.
4. Protect important cultural resources. This includes the Painter Wing, Swiss Guides Cottage, Hillside Cottage, and the Schloss building.
5. Permit the conversion of the Tom Wilson dining room to 10 suites. Relocate the dining room to the Meeting Facility.
6. Restrict the amount of retail space to 1468 m<sup>2</sup>. Over time, in response to market demand, modify retail products so they reflect the heritage tourism strategy and basic and essential services.
7. Permit one additional level on the parkade, if required. Put a roof on the structure if an addition level is added.
8. Redesign entry court to improve views and introduce natural landscape features.
9. Permit a Meeting complex at the north end of the parkade. The facility will include new rooms, meeting facilities and a dining room. The former Boiler building can be removed.
10. Limit additional commercial floor area to a maximum of 12,796m<sup>2</sup>.
11. Reclaim road sides at entrance.
12. Reroute trail along Louise Creek and restore riparian vegetation.
13. Rehabilitate the lakeside promenade and viewpoints.

(continued on page 114)



ACHIEVING THE VISION (cont'd)

- 14. Rehabilitate 9 hectares to a natural state in accordance with the approved landscape plan. (refer to site plan on page 119).
- 15. Develop additional staff housing if needed (refer to page 120).
- 16. Reduce the impact of exterior lighting on the ability of visitors to enjoy the night sky.
- 17. Implement a heritage tourism program, including a major, ongoing educational, interpretation, communications program targeted at all guests and staff. The goal of this program will be to help guests and staff appreciate the heritage values of the area and the challenges involved in protecting it. Promotional material to reinforce this theme.
- 18. Monitor hydrocarbon impacted soil associated with the old Boiler Building. Implement a program to address the impacted soils. Ensure no impact on Louise Creek and Lake Louise. Remove impacted soil as part of removal of the Boiler Building.



Existing Conditions - Chateau Lake Louise

DESIGN REQUIREMENTS

The following is a summary of the requirements for the site. Additional conditions were identified separately as part of the approval of the Meeting Facility, recent staff housing projects, other initiatives, and related environmental assessments.

Development Cap

The development described here is the maximum allowed at the Chateau Lake Louise. This means there will be:

- no increase in building size and dimensions beyond that identified in this document
- no further exterior additions
- only minor structural changes to improve service (e.g., covering part of the luggage drop-off area) and renovations to the interior

Meeting Complex

Conditions for the development of a Meeting Facility at the south end of the parkade, on the site of the Boiler Building were announced in May 1998. This facility must comply with these conditions and the following guidelines:

- address any significant soil contamination as part of construction

- ensure the size of Chateau meeting facilities meet the ‘guide to appropriate services’ on page 43 and are proportional to similar facilities in the mountain parks.
- maximum size of the Meeting Facility will be 12,796 m<sup>2</sup>
- retain the heritage record of the Boiler Building
- ensure the Meeting Facility addition does not extend beyond the northwest edge of the existing Boiler Building and is no higher than the existing hotel
- allow a maximum of 81 suites and rooms in the Meeting Facility. The room conversion to suites in the main hotel must be complete and the number of hotel rooms must not exceed 563 before an occupancy permit will be issued.
- restrict the total capacity of the Chateau’s meeting facilities to the hotel’s capacity for overnight visitors
- from June 1 to September 30, allow only overnight guests of the hotel and community groups to use the hotel’s meeting facilities
- implement the approved operational strategy to ensure the Meeting Facility does not increase summer use of the lake and surrounding area (beyond the additional 104 hotel guests). This strategy addresses operations, marketing and communications. It is to be fully implemented prior to receiving an occupancy permit for the Meeting Facility.
- match the colour and material used in the existing development (e.g., stucco and Tyndall limestone)
- use a similar architectural style and detailing on all sides of the building
- set the Meeting Facility far enough back to allow space for a generous sidewalk and beds for large trees and shrubs
- base the design of the roof on the original Painter Wing and the existing hotel
- soften the impact of the building by landscaping the roof
- protect the views of the lake, peaks, and glacier
- permit only the following uses in the Meeting Facility: accommodation, meetings, and dining. Retail space is permitted only if there is an equivalent loss of equal amount of retail space in the main hotel.
- allow a connection between one level of the main building and the Meeting Facility
- implement the approved detailed landscape improvement plan. (see “Landscape Guidelines”)
- locate staff parking so it is not visible from public roads







Achieving the Vision - Artist's Concept, Proposed Chateau Meeting Facility

- ensure, over time, that most meetings deal with the theme of protected heritage
  - limit the capacity of the new restaurant to 252 people• Implement the approved interpretation program in collaboration with Parks Canada. The program will be fully in place when the Meeting Facility is complete. The program will include the following
    - a mandatory one hour heritage presentation for all multi-day meetings. One day meetings will have interpretation information provided to participants.
    - interpretive and education displays throughout the meeting facility and hotel to highlight various heritage themes. There will be displays in the large meeting hall and in each of the smaller meeting rooms.
    - a permanent capability to show environmental and interpretive films in the large meeting hall and audio visual programs throughout the hotel
    - mandatory application of the hotel's 'Green Meeting Policy' for all meetings. This will include initiatives such as the zero waste program for disposables, use of recycled products, etc.
    - promotional material and participant information kits will be designed based on heritage themes and include interpretation information
- interior design of the meeting hall, rooms and lobby areas will reinforce the natural and cultural heritage of the area
  - extensive staff training programs on the natural and cultural heritage of the area will be implemented immediately. The program will include information on the hotel's Environmental Management System, the hotel's Monitoring Framework, local environmental issues and related staff responsibilities.
  - in-room interpretation materials and eco-tourism/ learning vacation packages
  - guided interpretive tours
- ### Lake Shore Promenade

The promenade is popular with hotel guests and daily visitors. High visitation demands a higher level of maintenance. Improvements are required to enhance the experience along the Lake shore.

  - assess reason for algae along the shoreline; if cause is associated with hotel operations, resolve the problem as soon as possible
  - improve the riparian environment
  - ensure the promenade meets a variety of needs - strolling, sight seeing, photography and access to hiking opportunities. Integrate quiet, private seating areas
- minimize lighting to what is essential for public safety and way finding for Chateau guests
  - enhance interpretation opportunities
  - limit use of turf and ornamental plants
  - plant native vegetation
  - prohibit concessions except the existing boathouse
  - require the Chateau to take over the ongoing maintenance of the promenade. Parks Canada will share capital improvement costs equally with the Chateau.
- ### Landscaped Roof Gardens

(Parkade, Meeting Facility, Health Facility)

  - use simple roof gardens that reflect the natural landscape to help soften the view from hotel rooms and surrounding hiking trails; these gardens should not be enclosed
  - insulate plants from heat from below

DEVELOPMENT CAP

Commercial Expansion -	12,796 m <sup>2</sup>
Site Coverage Ratio -	45%
Average Number of Guests/Night -	1 126
Total Number of Rooms -	563
Occupancy Rate -	2 guests/night/room





### Horse Corrals

- reduce the environmental impact of the horse corrals by applying the Hotel's environmental stewardship principles to this concession

### Entry Court

- redesign and replant the entry court
- landscape with native plantings and rock work in well defined hard surface areas
- replace the false tower/cupola on the covered luggage area with a shorter structure that complements the design of the hotel and preserves the view across the valley

### Lighting and Site Furnishings

- build a new visitor orientation sign that reflects the area's history
- install fences and benches that are inspired by historical structures
- install new outside lights to improve enjoyment of the night sky (see lighting guidelines in Part II, Community Character); allow for lower winter settings

### Cultural Resources

- maintain, manage and operate cultural resources in a way that respects their historical context and the standards in the BHRDA.

### Tom Wilson Room Conversion/Painter Wing

When making the Tom Wilson Dining Room into suites:

- ensure interior renovations do not affect the exterior profile and character of the Painter Wing
- ensure the roof to the Painter Wing reflects the structure's heritage value (e.g., materials, design, and profile). Avoid uniform building height.

### Visitor Parking

- require Fairmont Hotels to complete a parking plan prior to issuing an occupancy permit for the Meeting Facility. The parking plan will address parking requirements for buses and staff and be integrated with the Lake Louise transportation planning initiatives.
- if necessary, add one level to the existing parkade

- should an additional level be required, cover the parkade with a roof that complements the hotel's roof and sheds snow safely
- screen the view of vehicles from the entry court
- prohibit infilling between the main hotel and the Meeting Facility
- if public transportation is introduced and the parkade becomes redundant, prohibit renovation of the parkade for visitor/guest services
- provide on-site parking for all hotel guests and day visitors who use the hotel's services (e.g., restaurants, lounges, etc.); prohibit parking by hotel guests in public lots or along right-of-ways
- require buses to turn off their engines while parked

### Swimming Pool and Health Facilities

- allow improvements to health facilities
- improvements must take place within sq.m. limits for the hotel. Expansion of building size underground will be permitted, within established limits, if there is a removal of an equivalent area of development
- protect the views from the hotel, the lake, and the trail
- screen the pool so activities are not visible from the lake or trail
- ensure landscaping places the main emphasis on the natural environment, not the building's architectural style
- preserve existing native vegetation where practical
- allow Lake Louise residents to use the health facility at a reasonable rate
- maintain the current level of services for people who use the trail (e.g., food, beverages); ensure these services are discreet, small scale, and in harmony with the landscape

### Retail

- allow retail operations 'inside' the hotel and pool area only. Exterior outlets will not be permitted.

### Infrastructure

#### Power

- implement programs to use energy efficiently; put in place a phased reduction program with planned targets and time frames. Energy conservation will be an aspect in the design of the Meeting Facility.
- keep the use of propane to a minimum

### Water

- identify acceptable standards for water withdrawal, return and storm runoff
- ensure there is no significant impact on the hydrology of the lake, creek, or other water resources; pursue opportunities for improvement to the health of the creek and lake
- design of water return systems must be based on a 'reversible' solution in the event that monitoring indicates a problem. Capability to reverse the situation must be immediate.
- require the Chateau to monitor the hydrology and health of aquatic life of Lake Louise and Louise Creek.
- implement a water conservation program within one year
- implement the conditions of the water permit

### Sewage Treatment

- ensure the sewage treatment plant has the capacity to handle Chateau waste water and improvements at the plant have been made to reduce phosphorus content in the Bow River before issuing an occupancy permit for the Meeting Facility

### Other

- snow storage may be on site. Removal to off site locations is permissible
- ensure snow storage does not affect water resources
- prohibit snow storage in public parking lots
- rehabilitate the old power line; remove poles and wire

### No Net Negative Environmental Impact

The development cap, construction of the Meeting Facility on previously disturbed lands, the return of 8.3 hectares of leasehold land, the restricted operating season of the meeting facilities, rehabilitation of 9 hectares, rigid application of water withdrawal and return standards, and water and energy conservation programs will all have positive environmental impacts.

To ensure the Chateau's operation, as a result of expansion, has no net negative environmental impact on adjacent lands, the approved Monitoring Framework will be implemented. It identifies targets, monitoring and reporting requirements. The results of monitoring and the Monitoring Framework will be reviewed annually. Hotel operations will be adjusted (within the parameters identified in the Monitoring Framework) if monitoring indicates there is a need.



# Landscape Guidelines

A landscape plan has been prepared and approved for the site. It provides details for rehabilitation of 9 hectares. The following and Part II, Community Character, provide direction for different areas on and off the leasehold:

## Area A

- reclaim disturbed sites with a combination of coniferous and native understory vegetation. Develop forest to conform to forest fuel hazard standards
- plant enough seedlings to create a relatively dense, uneven distribution of trees and shrubs
- plant separate groups of larger diameter trees only where needed to supplement the seedlings
- coordinate reclamation program with renovation of pool facilities

## Area B

- redesign this area to reflect its heritage and ecological context
- reduce areas of turf grass
- increase native vegetation to a representative state
- provide an appropriate transition to the surrounding natural landscape
- retain all mature spruce stands throughout Chateau gardens located around key viewing areas
- improve terraces to provide more outdoor space where people can sit, eat and enjoy the view
- provide a native planting palette with Iceland poppies throughout the pathway area. Carefully manage the poppy population so that it does not spread off the leasehold

## Area C

- enhance the areas on either side of the service road through planting trees and native shrubs
- soften the impact of the buildings through heavy plantings
- improve the visual impact of the service area

## Area D

- reclaim disturbed slope below cottage with native shrubs and grasses
- plant native vegetation behind the parkade

## Area E

- reclaim disturbed landscape between buildings
- reduce visual impact of service areas and maintenance structures
- provide usable outdoor space for staff
- minimize tree removal
- screen old and new buildings and staff parking lots with a combination of native trees and shrubs

## Area F

- enhance existing vegetation through tree planting
- reclaim disturbed areas
- reduce turf
- improve signs

## Area G

- repair the riparian edge along Louise Creek
- pull parking lots away from creek edge
- plant trees and shrubs to screen parking lots
- redirect surface water from parking lots away from the creek
- ensure snow storage is away from the creek

## General

- reduce the use of chemicals and over time eliminate them
- ensure non-native species do not spread off the leasehold
- improve the habitat for small mammals and birds
- discourage use of the area by large mammals
- apply water conservation principles





# CHATEAU STAFF HOUSING

## EXISTING CONDITIONS

Staff housing at Upper Lake Louise provides accommodation for over 700 employees. The older buildings were constructed in the late 1970's. Four new buildings with 90 units were added in 2001. These additions addressed a variety of issues to reflect changing demographics of staff and established guidelines for the area.

- 1. Older buildings are all 3.5 storeys tall with little screening making them visible from many points around the Chateau and lake.
- 2. Recent new housing units.
- 3. The mass and scale of older buildings is imposing due to lack of articulation and detail.
- 4. There are few outdoor spaces for employee activities.
- 5. Exterior colours of some of the buildings are light which makes them highly visible from distant views.
- 6. Significant stands of mature trees are adjacent to the staff housing.
- 7. The site slopes down to the east.
- 8. A wetland is located to the east of the site.



NOTE: Image has been rotated from previous Chateau site plan.

## DESIGN REQUIREMENTS

### Staff housing and Amenities

- complete 30 new units prior to converting the Tom Wilson dining room into suites, the redevelopment of the swimming pool and improvement to health facilities.
- encourage Fairmont Hotels to contribute to improving the community center and the recreation grounds
- limit the height of the new building to that of existing staff housing
- create a village-like atmosphere using building orientation, scale, and the development of public spaces between buildings
- integrate housing with the existing landscape, limiting disturbance of existing vegetation
- ensure building design considers winter circulation and safety using covered walkways/verandas and simple roof forms that do not collect snow. Orient roof slopes away from public areas.
- encourage the use of separate entries for each unit, rather than a single apartment style entry lobby, to provide identity to each staff unit and enhance the village like quality of the complex
- carefully scale and articulate the building massing and architectural expression to reduce its impact on the site (refer to "Architectural Guidelines")
- encourage the use of an occupied attic space for the upper storey of the building to allow use of dormers as a means of articulation. This also provides the means to bring the slope of the main roof down to a lower storey.
- reduce building mass by stepping portions of the building down the hillside
- create building articulation with the use of rectangular bay windows. Avoid angled or bow bay windows. Bay windows should not be used as the sole device for articulation and should be integrated with roof and facade lines.
- consider horizontal wood siding and wood shingles for exterior walls to better integrate the buildings into the landscape
- avoid the use of stucco as the main exterior finish. Limit its use to the percentage specified in the "Architectural Guidelines" outlined in this document
- use stone veneer for the base of the building and landscape elements such as retaining walls or exposed portions of the underground parkade
- ventilate the underground parking structure with a combination of mechanical and natural means
- cover all access and exit ramps or integrate into the buildings





# CHATEAU STAFF HOUSING

## DESIGN INTENT

- To provide additional staff housing.
- To preserve the scenic quality of Upper Lake Louise.
- To reduce the impact of new development on the natural environment.

## ACHIEVING THE VISION

1. Permit a maximum of 30 additional units.
2. Reduce and consolidate staff parking.
3. Provide paths for pedestrians.
4. Provide recreational facilities and other amenities for staff in the Schloss building (e.g., canteen, restaurant, child care, library, fitness room, laundry, post office, etc.).
5. Ensure offsite drainage from the site does not affect wetlands to the east.
6. Renovate the hillside residence. Retain its heritage values.
7. Reduce staff impact on surrounding land. Encourage staff to restrict their outdoor activities to established Parks Canada trails.

### Staff Parking

- reduce surface parking area by 15 to 20%
- require underground parking for new staff housing
- public parking lots cannot be used for staff parking

### Landscape Guidelines

- build covered walkways and verandas around the perimeter of the building to reduce the mass of the structure. They should be a minimum of 2.4 meters wide to allow space for staff activity and circulation.
- install signs, site furniture, lights, etc. as set out in Part II, Community Character
- minimize site disturbance and tree removal due to construction. Use proper erosion control measures.



# UPPER LOUISE PARKING

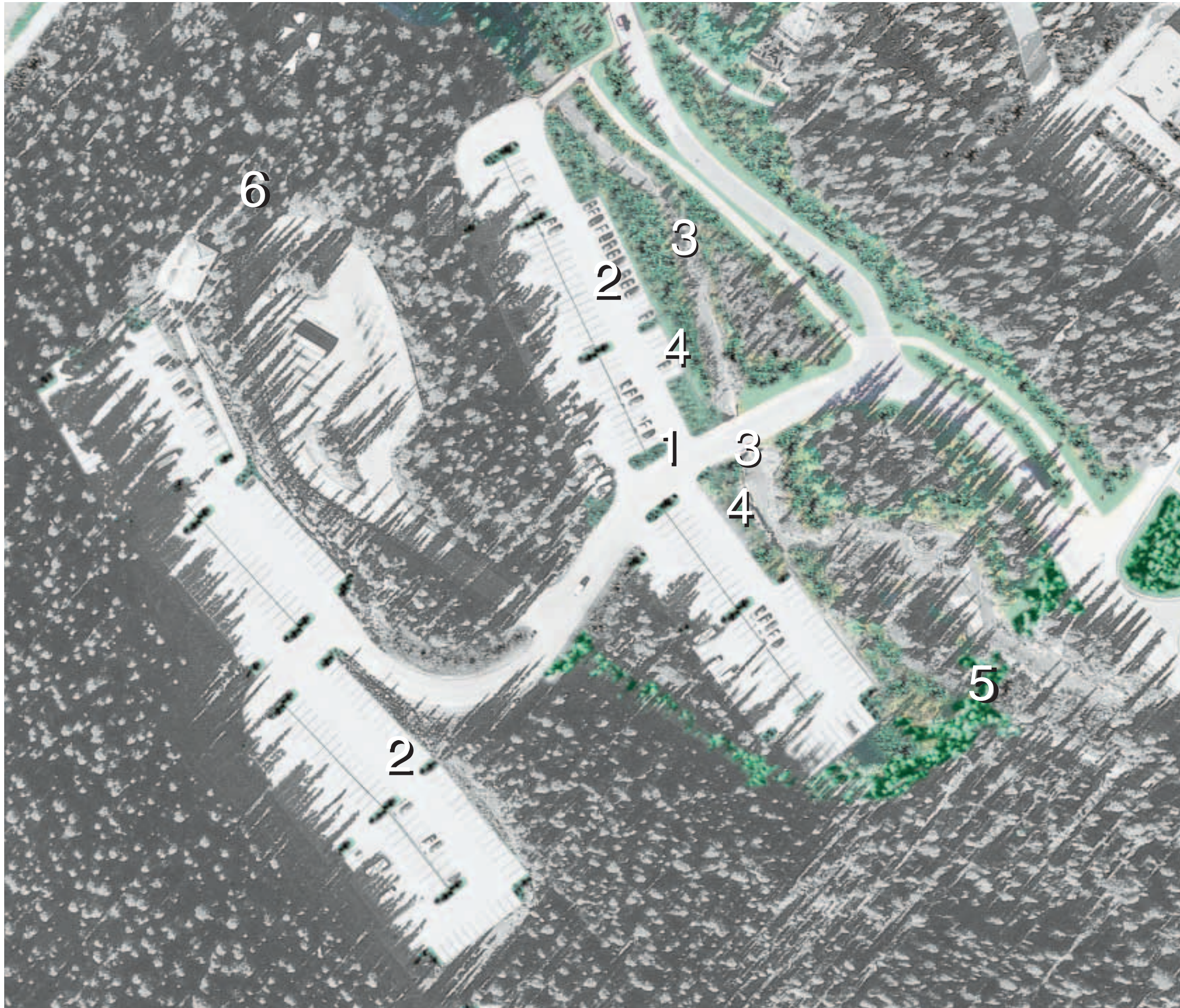
## EXISTING CONDITIONS

The Upper Louise lots provide day use parking for approximately 500 cars and 14 buses.

1. During peak times the parking lot is overcrowded and cars park along the road.
2. The large expanse of parking, crowding, and lack of signs contribute to a negative visitor experience.
3. Approximately 18,000 m<sup>2</sup> of pavement displaces a substantial amount of native vegetation. Lack of vegetation within the parking lots creates an urban feel and detracts from the appearance of the area.
4. The lower parking lot has affected riparian vegetation. Runoff from the parking lot is a potential source of contamination.
5. Trails to the Lake require improvement.
6. Access road is redundant and causes an unnecessary second crossing.







## UPPER LOUISE PARKING

### DESIGN INTENT

To reduce the impact on Louise Creek.

To improve the sense of arrival to the lake area.

To manage crowding in the area.

To improve the quality of the visitor experience.

### ACHIEVING THE VISION

1. Determine the best means of providing public access to the lake and the future of the parking lot as part of transportation planning. This should address:
  - summer, winter, and shoulder season use of the parking lot
  - design requirements should public transportation be pursued
  - improved access to the lake
  - reducing environmental impacts on the creek and the area as a whole
  - recommendations on reducing the impacts of visitor use
2. Restrict the capacity of the parking lot to the existing situation. Improve the interior lot landscape.
3. Reclaim the riparian environment. Chateau Lake Louise to play a major role in this initiative. Remove parking stalls directly adjacent to the creek. In interim, prohibit snow storage immediately adjacent to the creek.
4. Redesign the lower lot size and reforest the area to screen views of the parking lot from the main road. All lot reduction to be studied as part of transportation planning.
5. Assess the need for the secondary road; reclaim if not needed.
6. Improve trail access to the lake from both upper lots.





Victoria Glacier, Lake Louise, and the Chateau Lake Louise.





## PART V

### STEWARDSHIP AND MANAGEMENT

#### A Place for Environmental Stewardship

- Policy Direction
- Background
- Objectives
- Guiding Principles
- Actions
  - Sewage Treatment
  - Water Quality
  - Water Conservation
  - Energy
  - Air Quality
  - Solid Waste
  - Contaminated Sites
  - Purchasing
  - Education

#### Managing Growth

- Policy Direction
- Background
- Objectives
- Guiding Principles
- Actions
  - Commercial Growth
  - New Services for Residents
  - Residential Census
  - Development Review
  - Leases
  - Funding
  - Plan Review
  - Non-conforming Use
  - Priorities for Implementation



# A PLACE FOR ENVIRONMENTAL STEWARDSHIP

## POLICY DIRECTION

The Management Plan commits Parks Canada to the following.

- working with communities and businesses to establish environmental management systems
- working with the Hamlet of Lake Louise and others to encourage residents and visitors to act in an environmentally friendly manner
- incorporating messages regarding environmental stewardship into communications and training programs
- improving the Lake Louise Waste Water Treatment Plant to meet defined targets for phosphorous, fecal coliforms, pH, BOD, and dissolved solids
- implementing a water conservation program

*Banff National Park Management Plan, 1997*

In May 1998, the Federal Government indicated that the current power capacity can be expanded provided this is accomplished with no significant impact and the cost of this upgrade, if needed, will be borne by commercial operators. Each development submission will demonstrate that all avenues have been implemented to achieve energy savings.

In June 1998, the Minister of Canadian Heritage reiterated the need for leadership in environmental stewardship and stressed that infrastructure must have adequate capacity before growth is permitted.

## BACKGROUND

Environmental stewardship encompasses a range of activities. Individual actions such as composting, or more complex programs such as waste management, all contribute to conserving our natural resources and protecting our environment.

Parks Canada, the community, and local businesses continuously strive to reduce the impact of their operations. Park managers have cut energy consumption, reduced the use of toxic chemicals, and limited the amount of waste from their activities. Residents and businesses have undertaken their own initiatives. The Lake Louise Inn installed water saving devices in one of its buildings. The Chateau Lake Louise has introduced numerous waste conservation/waste reduction, recycling, and reuse programs. The Hostel has developed water and energy conservation standards. These initiatives can serve as models for other operators. However, more remains to be done.

### The Road to Environmental Stewardship

1992	The government adopts the Code of Environmental Stewardship.
1994	Lake Louise opens a recycling depot for bottles.
1995	Cabinet approves the Guide to Green Government.
1996	Lake Louise starts a cardboard recycling program. Since the program began, the Hamlet has recycled more than 140 tonnes of cardboard.
1997	The Department of Canadian Heritage drafts a Sustainable Development Strategy.
1997	The Banff National Park Management Plan provides specific direction on environmental stewardship.
1998	Parks Canada begins preparation of a National Environmental Management Plan.
2001	Lake Louise Community Plan approved. Environmental Stewardship a key component.
2002	Chateau Lake Louise completes an Environmental Management Delivery System.

## Sewage Treatment

Sewage treatment is a major stewardship issue for Lake Louise. Ecological impacts on the Bow River as a result of the addition of nutrients, especially phosphorus, have been observed downstream of the plant. In addition, concerns have been expressed that as a result of possible increased growth in the area, there is a potential for increased volumes of waste water in winter, when the river is naturally low. This may further compromise the ecological health of the river. To address these concerns, the waste water treatment plant was upgraded in June 2002 to address capacity issues. The plant now has the capacity to address current demand and the projected growth outlined in the *Community Plan*. Further enhancements to the plant will be completed in 2003. This will significantly reduce phosphates to the lowest possible levels with today's technology.

## Water Quality

### Bow River

In its lower reaches, the Bow River is one of the finest trout fisheries in North America. The Hamlet of Lake Louise discharges treated effluent into the river. As noted above, concerns about phosphorus and volumes of waste water discharge are being addressed.

### Pipestone River

This tributary of the Bow River flows through the community and is responsible for creating the alluvial fan on which the Hamlet is situated. There is no evidence of artificial phosphorous or nutrient enrichment.

### Louise Creek

From the Chateau Lake Louise, Louise Creek flows through an area of buildings and parking lots. Over the years it has suffered from periodic pollution caused by effluent and by spills. Runoff from parking lots may also contaminate the creek.

### Lake Louise

The Chateau draws water from Lake Louise to meet its needs. From this, the Chateau also supplies Deer Lodge and the Parks Canada washrooms at the public parking lot. Standards have been developed and water permits identify conditions to ensure the health of the lake and creek.

## Drinking Water

The existing infrastructure provides an adequate supply of drinking water. Two wells on Fairview road supply water for the Hamlet. Built in 1990, they were designed for a population of five thousand and can supply 1,800 litres/minute. Studies indicate that the aquifer is capable of meeting the community's needs (Martinson, 1997). In the winter of 2001/02, Skiing Louise explored the potential use of the aquifer to support its snowmaking operations. This is still under review.

Water meters have been installed in the Hamlet.

## Energy

Electricity and propane are the primary sources of energy for Lake Louise. As a result of concern about the power supply in the Bow Valley, TransAlta reviewed the demand at potential build out. This review indicates that the existing infrastructure has sufficient capacity to meet the future demand outlined in the *Community Plan*.

## Air Quality

Problems with air quality are most apparent during temperature inversions. While there is little current information, studies have shown that levels of carbon monoxide can at times exceed national standards. The primary sources of air pollution are vehicles, campfires, and fireplaces in residences and commercial accommodation. Occasionally emissions from buses are a problem at Upper Lake Louise.

## Solid Waste

Every year, Parks Canada hauls thousands of tonnes of solid waste from a transfer station in the Hamlet to a Calgary landfill. Programs to recycle bottles, cardboard, metal, tires, used batteries, and waste oil are in place and continue to be improved.

## Contaminated Sites

Parks Canada has begun to identify contaminated and disturbed sites that threaten, or are likely to threaten, human health or the environment. Monitoring stations have been installed at the old Lake Louise Compound as part of this program. No major sites have been identified. The Chateau has plans to address contamination on its leasehold.



OBJECTIVES

To make environmental stewardship a fundamental component of business and institutional operations.

To provide leadership in environmental stewardship.

GUIDING PRINCIPLES

- 1. Parks Canada, residents, businesses, and visitors must work together to promote environmentally sound practices.
- 2. Environmental stewardship is an on-going responsibility.
- 3. Environmental stewardship applies to every facet of an organization's operation. Preventing pollution, assessing environmental impact, and protecting resources are an integral part of decision-making.
- 4. Stewardship guidelines will apply to the ski hill where there is an impact on community infrastructure (ie., sewage treatment).

ACTIONS

General

- ensure Parks Canada adopts the department's environmental management strategy
- encourage individual businesses to implement environmental management systems that focus on conserving water and energy, reducing waste, and preventing pollution
- periodically audit individual operations; recommend ways to improve environmental management
- with the Lake Louise Community Council, prepare an action plan and communication strategy for implementing the environmental stewardship strategies
- identify specific targets, indicators and a monitoring program as part of the Monitoring Framework for ensuring no net negative environmental impact (see Part II - A Place for Nature)

- convene an annual round table of head lessees to discuss implementation, share successes, and resolve common concerns. The Lake Louise Community Council should take the lead with this initiative.
- make environmental stewardship a condition for all development proposals and new or modified business licenses
- adjust leases to reflect the stewardship program

Sewage Treatment

- utilize the best available technology to meet the leadership targets identified in the Park Management Plan
- implement plant treatment capability improvements to reduce the amount of phosphorus being introduced into the Bow River
- explore ways to reduce winter waste water discharge into the river
- enhance monitoring and research initiatives on the health of the river; adjust programs if necessary
- share responsibilities for these initiatives with the community and business operators

Water Quality

- develop water withdrawal, return, and storm runoff standards
- continue regular sampling of water quality downstream of the Hamlet
- periodically measure contaminants in runoff from parking lots, particularly at Upper Lake Louise
- use a vegetated buffer to reduce the effects of runoff from roads and parking lots
- ensure new parking lot designs effectively trap contaminants
- encourage residents and businesses to minimize/eliminate use of pesticides and fertilizers
- monitor water quality, temperature and flow in Louise Creek and Lake Louise
- implement a community program to reduce phosphates

Water Conservation

- measure consumption
- establish water conservation standards (commercial and residential); monitor use; update regularly
- identify water conservation programs when renewing water permits
- require all new development proposals to include water conservation programs
- audit individual consumers and identify specific actions to conserve water
- ensure operators install water conservation devices in new construction; retrofit existing facilities during renovations
- monitor and repair the water distribution system
- establish a standard for acceptable leakage from the system
- monitor water levels of the aquifer

Energy

- measure consumption
- require all new development proposals to include energy conservation strategies
- work with energy providers on energy efficiency initiatives and to manage spare capacity
- ensure environmental assessments fully address power requirements and related cumulative impacts; meet yearly with energy providers to review forecasts
- set targets and monitor progress
- ensure all new construction complies with the Canadian Energy Code
- introduce policies and standards that promote energy-efficient building practices
- submit major development proposals to an independent energy audit
- investigate the feasibility of purchasing green-power (e.g., wind generated, solar power)
- develop high profile, alternative energy demonstration projects
- ensure alternative power sources and changes have no significant negative environmental or aesthetic impact



Potential contaminants in runoff from parking lots needs to be addressed.



Air Quality

- prohibit the use of diesel generators, except in emergencies
- discourage the use of wood burning fireplaces and open campfires during temperature inversions; promote the use of more efficient wood
- encourage use of public transportation to reduce emissions
- monitor air quality near the campground and in bus parking areas
- identify ways to reduce emissions from buses

Solid Waste

- reduce the amount of solid waste by 50% of the 1988 level of 3,000 tonnes
- expand recycling services in the community
- redesign the existing transfer station to make the separation and transfer of solid waste more efficient
- explore the feasibility of a wildlife-proof community compost for organic waste. This would include a permanent facility for community use and individual composters for larger commercial operations
- encourage reuse

Hazardous Waste and Contaminated Sites

- identify and monitor contaminated sites
- prepare a strategy to clean-up priority sites
- complete an inventory of PCBs and eliminate all PCBs from Lake Louise
- continue with the existing program for collecting, storing, and exporting hazardous waste
- ensure problem storage tanks meet standards and operate them in compliance with guidelines and codes of practice
- ensure safe and environmentally responsible management practices for hazardous waste

Purchasing

- adopt policies that promote environmentally friendly products and reduce packaging
- eliminate the use of ozone depleting substances

Education

- with local businesses and community organizations, undertake a comprehensive program to educate the community about energy and water conservation; explain the relationship between consumption, lifestyle, and the environment
- target specific audiences such as commercial operators, building managers, visitors, staff, and residents
- highlight environmental stewardship initiatives
- publicize the community’s environmental standards and initiatives in brochures and other media
- keep all stakeholders informed about progress in achieving Lake Louise’s environmental stewardship objectives
- integrate a community education program with staff training programs



Energy and water conservation is integral to Lake Louise’s environmental stewardship objectives.



A substantial number of visitors arrive at Lake Louise by bus. Ways to reduce emissions needs to be studied.



# MANAGING GROWTH

## ...Responsible Growth Management

### POLICY DIRECTION

In June of 1998 the Minister announced the following:

- an annual growth rate will be established to govern commercial development for all communities
- the shortfall in residential accommodation will be eliminated in all park communities by 2005

### BACKGROUND

Growth must be carefully managed to ensure the pace and type of development respects ecological concerns and the needs of the community. During the preparation of the *Bow Valley Study*, the *Banff National Park Management Plan*, and the **Lake Louise Community Plan**, little commercial growth has been allowed. While business owners may be impatient with this situation, the need to control growth continues. This will allow for the preparation of human use strategies and the implementation of the *No Net Negative Environmental Impact Monitoring Framework*.

Parks Canada's Townsite Manager will take the lead and will work with the Lake Louise Community Council and business operators to achieve the actions and the intent of the **Community Plan** and the *Implementation Guidelines*.

### OBJECTIVES

To ensure growth does not undermine the park's ecological health.

To phase in commercial growth.

To ensure adequate staff housing is in place.

To support community social needs.

### GUIDING PRINCIPLES

1. The limits identified in this plan are fixed and may not be exceeded.
2. Expansion of commercial space will take place over time.
3. Staff housing must be available to support growth.
4. Permission for commercial expansion is for specific sites and can not be transferred to other locations.
5. Owners are not obliged to develop their properties.
6. Parks Canada will rigidly apply the *Canadian Environmental Assessment Act* (CEAA) and the development review process. This may require mitigation measures beyond those identified in the *Implementation Guidelines*.
7. Infrastructure must have the capacity and capability to support growth.

### ACTIONS

#### Commercial Growth

The following parameters will govern commercial growth:

- ensure development does not exceed the waste water treatment plant's capacity
- allow new commercial development to take place only after improvements at the sewage plant have been made to reduce phosphorus content below current levels in the Bow River, unless it can be demonstrated that development will result in no further ecological impact on the river
- phase development over a minimum of ten years
- develop a process for determining when individual operators will be allowed to expand
- ensure commercial operators resolve their housing issues (see Part III - A Place for Community)
- link the pace of development to human use strategies and public transportation to Upper Lake Louise; if human use strategies are effectively implemented within the next ten years, reassess the need to phase commercial growth
- exempt projects from phasing limitations if an environmental assessment shows they have significant immediate ecological benefits

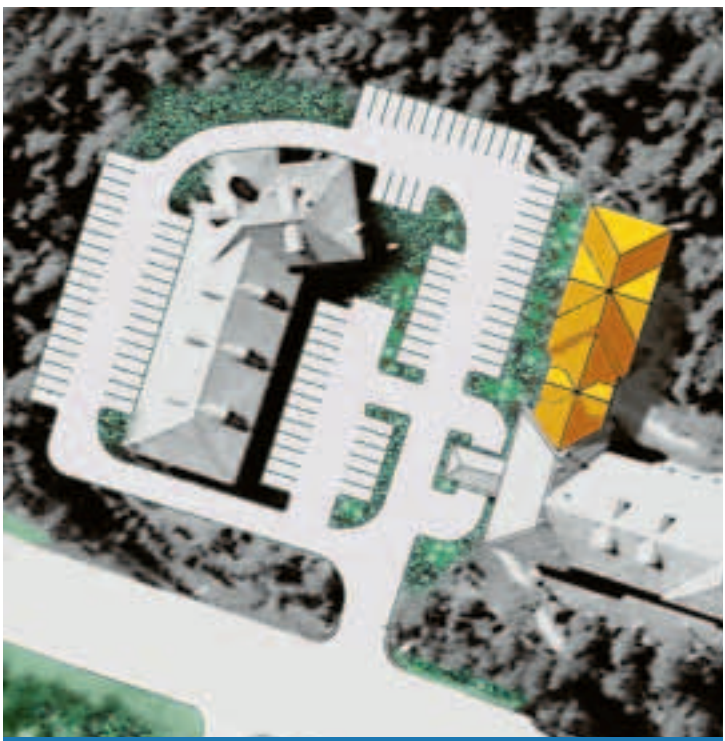
NOTE: Since the announcement of the conditions for the Chateau Meeting Facility preceded the Minister's announcement on Community Planning Principles, this project will not affect the phasing of other development.

#### Services for Residents

- allow housing to proceed immediately
- allow construction of the new community centre to proceed at any time
- ensure compliance with need-to-reside policy
- review the housing strategies annually (see Part III - A Place for Community)

#### Residential Census

- complete a residential census as soon as possible to confirm the existing population
- adjust the residential ceiling if necessary
- carry out an informal census every two years and a formal census every five years
- use the census to collect information about:
  - the number of staff, families, and children in Lake Louise
  - the type of accommodation these people occupy
  - the number and type of housing units in the community
- use the census to confirm that residents meet the need-to-reside criteria; compare results with employer records



Potential growth at the Mountaineer.



Potential growth at the Hostel.



Development Review

All development or redevelopment in Lake Louise is subject to the Development Review Process. Discussing ideas with the Townsite Manager before preparing concepts will help individuals understand the review process and related requirements. This will help proponents save time and potentially reduce design costs.

The review process has three main stages:

- 1. Development Permit
- 2. Building Permit
- 3. Occupancy Permit

The review process will confirm that proposals are consistent with:

- the **Community Plan**, *Implementation Guidelines* and supporting *Land Use Directives*
- the *Banff National Park Management Plan*
- the *Canadian Environmental Assessment Act*
- applicable regulations, directives and standards

Development submissions must include the following:

- all required information, including applications completed by appropriate professionals (e.g., architects for building design, landscape architects for site development, and engineers for engineering design work)



- a detailed housing strategy that demonstrates adequate housing is provided for all staff (see Part III - A Place for Community)
- a landscape strategy (see Part II - Community Character)
- an environmental management strategy for the entire operation, with emphasis on power and water conservation (see Part V - A Place for Environmental Stewardship)
- a plan to support heritage tourism (see Part III - A Place for People)
- a staff education strategy
- a plan to achieve specific environmental improvements and protection of cultural resources
- a parking strategy
- proof that CEAA has been rigorously applied
- a real property report, prepared by an independent firm, to confirm the extent of development, existing floor area ratios and existing size of development.
- a forest fire protection strategy where relevant

Leases

- update leases as part of the development review process. Generally drafts of new leases will be completed prior to issuing a building permit for commercial expansion. Execution of the new lease will be required before an occupancy permit is issued for commercial expansion.
- include key aspects of the **Community Plan** and the *Implementation Guidelines* in new leases, including:
  - development restrictions and auditing requirements
  - responsibility for landscape improvements, heritage tourism, staff education, appropriate uses, environmental stewardship and staff housing
  - consolidation of leases for individual leaseholders where several leases exist
  - protection of cultural resources
  - requirements to survey guests and staff
  - lease reduction and/or reconfiguration where necessary

Funding

The development described in these guidelines will take place when businesses, the community and Parks Canada have the necessary financial resources and interest to proceed.

- require businesses, institutions, and non-profit groups to pay for all development on their leases and for their share of associated infrastructure improvements and connections
- as part of the community budgeting process, prepare a strategy for financing infrastructure improvements (e.g., roads, trails, power, etc)
- identify a modest amount of money each year in the community budget for landscape improvements and removal of evasive non-native plant species within the Hamlet for areas not associated with individual leases
- investigate support from Improvement District 9, fund-raising programs, grants, and sponsorship to help the community meet its landscape and community service objectives

Parks Canada will take the lead on facilitating the following projects:

- improvements to the entrance way
- new directional and orientation signage
- interpretation signs on lands not associated with leases
- improvements to the visitor reception center
- transportation systems to Upper Lake Louise

Offsite Contribution

The **Community Plan** identifies that “each operator will contribute to ecological improvements in the Lake Louise area or to ecological research/monitoring initiatives”. This will be achieved by encouraging operators to:

- contribute to rehabilitating disturbed lands off their leasehold
- ensure staff education programs result in employees that model appropriate off lease activities in support of human use strategies for the area
- contribute financially to research and monitoring initiatives in support of the *Community Plan Monitoring Framework* and the development of human use strategies for the area

Plan Review

- schedule major updates to coincide with reviews of the *Banff National Park Management Plan* as necessary
- ensure the results of research and monitoring are considered when the **Community Plan** and *Implementation Guidelines* are updated

Non-Conforming Use

Existing development that does not substantively comply with the **Community Plan** and *Implementation Guidelines* will be considered a non-conforming use. If these sites are significantly damaged requiring redevelopment of more than 50% of the facility or a development proposal involves more than 50% of the facility, then all construction must be in compliance with the guidelines.

Priorities for Implementation

The following priorities should be considered when implementing the **Community Plan** and *Implementation Guidelines*:

- complete upgrades and enhancements to the sewage plant
- release residential lands and implement staff housing strategies to address current issues and shortfalls
- establish a monitoring framework
- prepare a communication strategy and integrate it within a broader program for the Lake Louise area
- implement entrance way improvements and new orientation/directional signage
- complete a census
- develop human use strategies and advance transportation system improvements
- enhance interpretation in the Hamlet
- implement surveys for overnight visitors and staff outdoor activities
- complete Land Use Directives





# PART VI

## CUMULATIVE AND ENVIRONMENTAL EFFECTS

- Cumulative Impacts
- Consistency
  - Issues of Concern

No Net Negative Environmental Impact Framework & Growth Management

Public Concern

Conclusion





Potential impacts on wildlife is an issue of concern.

## CUMULATIVE IMPACTS - SUMMARY

Parks Canada has prepared an environmental assessment that focuses on the cumulative effects of the Lake Louise Community Plan. The assessment also considered the draft September 1999 Community Plan Implementation Guidelines. The environmental assessment was an integral part of the preparation of these guidelines. Thus, the assessment for the Community Plan is applicable to the Implementation Guidelines.

The review assessed the following criteria:

- consistency with Parks Canada's policies and plans
- issues of concern at a local, Bow Valley, Banff National Park, and Rocky Mountain Cordillera scale
- other projects that might combine with proposals in the plan and guidelines to create a negative environmental impact
- public concern

A summary of findings follows.

## CONSISTENCY

The Community Plan and Implementation Guidelines are consistent with Parks Canada's Guiding Principles and Operational Policies, the Banff National Park Management Plan, Parks Canada's response to the Banff-Bow Valley Study and guidance from the Minister of Canadian Heritage and the Secretary of State for Parks (May 15, 1998 and June 26, 1998).

Further development of existing commercial accommodation will house fewer overnight visitors than the 3,100 permitted. No new commercial accommodation enterprises will be allowed. Residential development to correct the existing shortfall and to support commercial expansion is required. The need-to-reside policy will be enforced.

## ISSUES OF CONCERN

The principle concerns are:

- the potential impact on wildlife
- crowding as a result of an increase in the number of visitors
- the capacity of existing infrastructure (e.g., water supply, waste water treatment, power, roads, parking)
- loss of a sense of wildness
- natural views
- cumulative effects

## Wildlife

Human use has already reduced the effectiveness of the Fairview wildlife corridor which passes between the Hamlet and Upper Lake Louise. Wildlife in this area are at risk of habituation to humans and the problems that result from close contact with humans. In addition the Lake Louise landscape management unit has a diminished carnivore habitat effectiveness due to its long history of high human use and activity in the area. Continued high human use, to the level that exists today, will mean that dramatic changes to habitat effectiveness, either positive or negative, are unlikely. Nevertheless, important improvements will be achieved through an aggressive bear management program, communications, human use strategies for Upper Lake Louise, public transportation, rehabilitation of disturbed lands, improved mitigations of the TCH during highway improvements and the recent closure of the 1A highway in Upper Lake Louise. Human use strategies and public transportation will be pursued to improve both the quality of the visitor experience and to reduce and mitigate stressful effects on wildlife.

It is imperative to safeguard the more effective Whitehorn wildlife corridor between Harry's Hill and the ski area on the north side of the valley. The valleys surrounding the ski hill are all important wildlife habitats, particularly for grizzly bears. Recent studies reveal grizzly bears in this area display both habituation to and stress from human presence and activity. The plan and guidelines recognize this circumstance and proposes only minor infilling in keeping with the recommendations of a review of Harry's Hill. Modifications for summer use at the ski hill will have a positive ecological impact. Parks Canada will also introduce a human use strategy for the popular Skoki area north of the ski hill. These will result in changes to human use in both areas in order to improve habitat effectiveness and to provide better security for grizzly bears on the north side of the Bow River.

The Lake Louise Hamlet boundary will be reduced at the west end to ensure no diminishment of this preferred wildlife travel route. The trailer park at the east end of the village will be removed and the site reclaimed as natural park land. New residential development will consist of infill development. This will result in a more compact community with a smaller footprint.

Spring and fall are sensitive times for many wildlife species. It is important not to promote shoulder season visitor activities that could conflict with wildlife. Operational procedures will be introduced if necessary. Temporary human use strategies in sensitive areas will be applied as needed. Research and monitoring will determine the need for specific mitigations in the Lake Louise area.



## Day-Use

The challenge to ecological integrity in the Lake Louise area will arise largely as a result of day use from visitors staying at locations other than Lake Louise. More than 20,000 people visit the area every day in the summer. The potential environmental impact of this type of use is likely to be greater than the proposed limited number of additional overnight visitors staying in commercial accommodation at Lake Louise and associated staff increases. For example, at this time, about 70% of the guests at the Chateau Lake Louise arrive in tour coaches originating from another location. They typically stay one night at Lake Louise and have little time for exploration before moving on to a new destination.

The potential contribution of additional overnight visitors may have on crowding at Lake Louise (at the shore of Lake Louise and the Moraine Lake area) and the front country has been considered and is thought to be small. Strategies to address current crowding issues will be based on current transportation and front country visitor use studies in the Lake Louise area. These are important mitigations that are being addressed independently of the ***Community Plan*** and *Implementation Guidelines*. **Hotel operators will be asked to conduct surveys of the hiking and skiing activities of their guests and staff to assist in implementing effective visitor use strategies.**

## Infrastructure

The water supply appears adequate to serve the proposed residential and commercial development. The waste water treatment plant has been upgraded to address capacity issues and improvements to reduce phosphates are planned for 2003. Initiatives to reduce waste water discharge volumes during periods of natural low river flows will be explored.

Existing infrastructure can handle the electrical power requirements from the proposed growth. Purchasing of ‘green power’ will be encouraged. Upgrades will only be considered if they have no significant impact.

No new roads are proposed. Surface parking will be kept to a minimum to help reduce the amount of land needed to support residential and visitor use development. Transportation planning will examine public transportation possibilities to eliminate congestion at upper Lake Louise at busy times.

## Scenic Views

Although the community’s overall footprint will be reduced, infilling will diminish the sense of openness and create an impression of greater human presence when viewed at close range or from high elevations. Views from the community to mountain peaks will be protected. Views of the community will be softened through landscaping improvements and appropriate choices of building material and colours.

## Wildness

The natural environment of the Bow River Valley, including Lake Louise, is under stress from human occupation and activity. Parks Canada has taken bold steps to protect the lower Bow Valley, and is planning additional measures for other locations. Within this context the Lake Louise Visitor Centre, with limited growth, will continue as a base to support visitor enjoyment of the area. Actions such as new human use management initiatives, including temporary restrictions, may affect some people’s sense of wildness.



As many as 20,000 people visit the area daily in the summer.

## Historical and Cultural Heritage

The plan and guidelines recognize sites and structures of historical or cultural value and proposes actions to ensure their continuance.

## Heritage Tourism and Interpretation

The introduction of a significant heritage tourism program that increases the awareness, appreciation and understanding of all visitors to Lake Louise will help visitors understand their role in protecting the heritage values of the area. This program will reach far more people than existing or past efforts, and is expected to play an important role in reducing the environmental impacts of visitor use and development.

In support of this initiative, an ongoing educational program will be introduced for all staff in Lake Louise. This program will highlight ecological initiatives and the important role, through their own behaviour, staff can play in sustaining the ecological values of the area.

## Other Projects

The combined effects of other development in the area including Field in Yoho National Park, Outlying Commercial Accommodation, Trans-Canada Highway improvements, and the Lake Louise ski area were considered in the ***Community Plan*** assessment. Reviews or planning programs for each of these are under way or nearing completion. Mitigations identified will be integrated with those of the ***Community Plan***. The cumulative effects assessment considered the potential combined impact of these developments. Again, the subjects of wildlife conflict, and visitor crowding at popular locations are the main concerns. The combined actions of anticipated new human use programs at the ski hill, backcountry areas and Upper Lake Louise, and a new Long Range Plan for the ski hill will likely result in an overall improvement in the area. Satisfactory strategies to avoid or mitigate stresses are identified in the ***Community Plan*** and *Implementation Guidelines*.



Crowding and congestion occurs during peak visitor times.



# NO NET NEGATIVE ENVIRONMENTAL IMPACT FRAMEWORK & GROWTH MANAGEMENT

## Monitoring and Follow-up

The “no net negative environmental impact monitoring framework” will measure the impact of the community on surrounding park lands. It will be introduced within two years to monitor changes resulting from the plan’s implementation. Regular monitoring will continue. The **Community Plan** and *Implementation Guidelines* will be periodically reassessed, with the results of monitoring being a key component of the review. If results indicate there is a need for corrective action, additional mitigation will be put in place. Phasing commercial growth and the incremental introduction of appropriate human use strategies will help ensure the objectives of the plan and guidelines are met. Ongoing park research initiatives will be an important part of this program.

## PUBLIC CONCERN

The public has commented on the future of Lake Louise through consultation programs for the *Banff-Bow Valley Study*, the *Banff National Park Management Plan (1997)*, the Canadian Pacific Hotel’s Chateau Lake Louise redevelopment proposal, and the **Lake Louise Community Plan**. In general, there is wide support for adequate residential accommodation. There is qualified support for a modest amount of additional commercial accommodation, provided the environmental integrity of the Lake Louise area can be ensured. Respondents were mostly concerned about the well being of wildlife, minimal ecological impact, responsible stewardship, conservation of resources, and good environmental impact assessments. Some people disagreed with any commercial development, and requested a “no growth” policy.

## CONCLUSION

The **Lake Louise Community Plan** and *Implementation Guidelines* propose a number of measures to reduce human stress on the natural environment: reduction in the Hamlet boundary to further limit development; rehabilitation of landscapes to their natural state, inside and outside the Hamlet; reduction of non-native plant species; limiting the footprint of development; significant increases in the number of people reached by interpretation and educational programs; staff education programs; strengthening environmental stewardship; appropriate use guidelines; phased commercial growth; ensuring residents meet the need-to-reside requirements; improvements to the built environment to better reinforce national park values; and protection of important cultural resources.

In addition the no net negative environmental framework will monitor impacts and indicate when corrective action is required.

The introduction of an additional 302 overnight visitors in commercial accommodation and 130 new staff, with development mitigations and in conjunction with the implementation of visitor management strategies, is not likely to cause significant adverse environmental effects.

On balance, it appears, with mitigation, the potential benefits will likely more than offset the adverse impact associated with the limited increase in commercial growth. No significant negative environmental effects are forecast. All projects arising from the **Lake Louise Community Plan** and *Implementation Guidelines* will be subject to future environmental screening as required by the *Canadian Environmental Assessment Act* and the *Canada National Parks Act*.



Victoria Glacier and Lake Louise.





PART VII  
GLOSSARY

RECOMMENDED PLANT  
SPECIES LIST



# GLOSSARY

**bed unit** means a sleeping area, separate or combined, within a dwelling

**building height** means the overall height of a building measured from existing grade to the uppermost point of the roof, excluding chimneys, weather vanes, etc.;

**commercial floor area** means gross floor area of the development used for commercial uses, excluding staff facilities;

**enclosed** means a space which has a roof or building over it and which has less than 50% of its perimeter open to the outside;

**existing grade** means the actual geodetic elevation of any point on a site representing the existing topographical elevation prior to development;

**floor area** means the space on any storey of a building between exterior walls and required firewalls, including the space occupied by interior walls, and partitions, but not including exits, vertical service spaces, and their enclosing ensembles;

**footprint area** means the total area of the ground covered within the exterior perimeter of buildings and structures, at grade and below grade, including structurally attached exterior terraces, decks and staircases, but excludes the area of: footpaths; sidewalks; unattached terraces, decks and patios; roadways; driveways; and surface parking areas.

**grade** means

- with reference to the determination of building height, the lowest of the average levels of finished ground adjoining each exterior wall of a building, except that localized depressions such as for vehicle or pedestrian entrances need not be considered in the determination of average levels of finished ground, or
- with reference to a street or lane, the finished level of that street or lane;

**gross floor area** means the Parks Canada Agency standard for gross floor area being total floor area of all levels of a building or structure with a clear ceiling height of 1.8 metres or more, contained within the outside of the exterior and basement walls or glazing line of windows, but excluding enclosed or open parking areas, garbage and loading rooms, and floor areas devoted exclusively to mechanical or electrical equipment servicing the development.

**hard surfacing** means a durable ground surface, constructed of cast-in-place concrete, brick or concrete unit pavers, turfstone, stone, asphalt, or similar materials, excluding gravel and clay;

**integrated pest management** is a sustainable strategy for designing the landscape to resist disease and pests and significantly reduce the use of chemical pesticides. The process generally involves the selection of appropriate regional plant materials, carefull installation of planting and hard landscape, and an effective maintenance plan for the long-term durability of the landscape. When chemicals are required for pest management, they should be carefully selected for environmental impact, and should be used at an early stage of plant life.

**no net negative environmental impact** ("NNNEI") means that wildlife, plants, water, air, soil and the processes that connect them will be better off or no worse tomorrow than they are today, as a result of new development in the community;

**retail floor area** means the area on any level used for retail operations as measured from the exterior face of all walls, doors and windows, whether temporary or permanent, movable or immovable, which comprise the boundaries of such space; and if such walls, doors and windows separate such space from adjoining space in the development, the area of such space shall be measured from the centre line of such walls, doors and windows; and if such space is recessed from one of its walls, the area of such recess shall be included in the area of such space; and there shall not be deducted from the calculation of the area of such space the area of any part of such space consisting of columns or projections necessary to or for the Hotel;

**ridge line** means the uppermost point of a roof;

**site coverage** means that percentage of the site covered by the total footprint area of all buildings, including accessory buildings and other structures on the site which are 1.0m or more in height, and includes hard landscaping elements including without limitation: footpaths; sidewalks; unattached terraces, decks and patios; roadways; driveways; and surface parking areas.

**staff facilities** means accommodation and facilities, services and amenities for the exclusive use of staff and Eligible Residents residing in staff accommodations, and their casual visitors





## RECOMMENDED PLANT SPECIES LIST

Trees		Palatability	Graminoids		Palatability		Palatability	
Abies lasiocarpa	Subalpine Fir	H (winter)	Agropyron dasystachum	Northern Wheatgrass	M-H	Equisetum pratense	Meadow Horsetail	U
Alnus crispa	Green Alder	L-M	Agropyron subsecundum	Awned Wheatgrass	M-H	Erigeron glabellus	Smooth Fleabane	L
Betula occidentalis	Water Birch	L-M	Agropyron trachycaulum	Slender Wheatgrass	M-H	Erigeron lonchophyllus	Fleabane	L
Larix lyallii	Alpine Larch		Agropyron violaceum	Alpine Wheatgrass	M-H	Erigeron peregrinus	Subalpine Daisy	L
Picea engelmannii	Engelman Spruce		Bromus ciliatus	Fringed Brome	H (summer)	Fragaria virginiana	Strawberry	H**
Picea glauca	White Spruce	L	Deschampsia atropurpurea	Mountain Hair Grass		Gallium boreale	Northern bedstraw	
Pinus contorta	Lodgepole Pine	L-M (winter)	Deschampsia caespitosa	Tufted Hair Grass	H***	Habenaria dilatata	Tall White Orchid	
Pinus flexilis	Limber Pine	L	Carex sp.	Sedge	L-H**	Hedysarum alpinum	Alpine Sweet Vetch	M****
Populus balsamifera	Balsam Poplar	M-H	Carex aquatilis	-		Hedysarum boreale	Boreal Sweet Vetch	M**
Populus tremuloides	Aspen Poplar	M-H (late fall-spring)	Carex capillaris	-		Hedysarum sulphurescens	Yellow Sweet Vetch	M****
Shrubs			Carex scirpoidea	-		Heracleum lanatum	Cow Parsnip	M-H****
Amelanchier alnifolia	Saskatoon	M-H***	Carex vaginata	-		Lathyrus ochroleucus	Yellow Pea Vine	M**
Arctostaphylos uva-ursi	Bearberry	****	Elymus glaucus	Smooth Wild Rye	L-M	Leptarrhena pyrolifolia	Leather-leaved Saxifrage	U
Betula glandulosa	Dwarf Birch	M (winter)	Elymus innovatus	Hairy Wild Rye	L-M	Linnaea borealis	Twin-flower	
Betula pumila	Swamp Birch		Equisetum arvense	Field Horsetail		Mitella nuda	Bishop's Cap	U
Cornus stolonifera	Red-osier Dogwood	M-H	Festuca brachyphylla	-		Mitella pentandra	Mitrewort	U
Dryas drummondii	Yellow Dryad		Festuca saximontana	Alpine Fescue	H	Moneses uniflora	Single-flowered Wintergreen	U
Dryas octopetala	-		Juncus sp.	Rush	L	Myosotis alpestris	Alpine Forget-me-not	
Elaeagnus commutata	Silverberry	L	Koeleria macrantha	Junegrass	H	Oxytropis campestris	Late Yellow Loco-weed	
Empetrum nigrum	Crowberry	L****	Poa alpina	Alpine Bluegrass	H* (summer & winter)	Parnassia palustris	Northern Grass-of-Parnassus	
Juniperus communis	Common Juniper	L	Poa palustris	Fowl Bluegrass	H	Pedicularis bracteosa	Bracted Lousewort	U
Juniperus scopulorum	Rocky Mountain Juniper		Trisetum spicatum	Spike Trisetum	M-H	Pedicularis contorta	-	
Juniper horizontalis	Creeping Juniper	L				Pedicularis groenlandica	Elephant Head	U
Ledum groenlandicum	Labrador Tea	L	Forbs			Penstemon confertus	Yellow Beard-tongue	
Lonicera involucrata	Bracted Honeysuckle	L-M*	Achillea millefolium	Yarrow	L	Penstemon procerus	Slender Blue Beard-tongue	
Menziesia ferruginea	False Azalea		Actaea rubra	Baneberry	*	Petasites palmatus	Palmate-leaved Coltsfoot	
Potentilla fruticosa	Shrubby Cinquefoil	L	Allium cernuum	Nodding Onion	M-H	Pyrola asarifolia	Common Pink Wintergreen	U
Rhododendron albiflorum	White-flowered Rhododendron	L	Anaphalis margaritacea	Pearly Everlasting	U	Pyrola chlorantha	Greenish-flowered Wintergreen	U
Ribes lacustre	Bristly Black Current	L	Anemone multifida	Cut-leaved Anemone	U	Pyrola elliptica	White Wintergreen	
Ribes oxycanthoides	Gooseberry	L-H***	Anemone occidentalis	Chalice-flower		Pyrola secunda	One-sided Wintergreen	U
Rosa acicularis	Prickly Rose	M-H**	Anemone parviflora	Anemone	U	Potentilla diversifolia	Diverse-leaved Cinquefoil	M-H
Rubus acaulis	Dwarf Raspberry		Anennaria neglecta	Pussy-toes	U	Saxifraga aizoides	Evergreen Saxifrage	U
Rubus idaeus	Red Raspberry	M*	Antennaria lanata	-		Senecio indecorus	-	
Rubus pedatus	Raspberry	M*	Antennaria pulcherrima	Showy Pussy-toes	U	Senecio pauperculus	Canadian Butterweed	M-H
Salix arctica	-		Antennaria racemosa	Pussy-toes	L	Senecio triangularis	-	
Salix bebbiana	Beaked Willow	H	Aquilegia flavescens	Yellow Columbine	P	Smilacina racemosa	False Solomon's Seal	P
Salix barclayi	Barclay's Willow	H	Aquilegia formosa	Sitka Columbine	P	Solidago decumbens	-	
Salix barrattiana	-		Arnica cordifolia	Heart-leaved Arnica	P	Solidago multiradiata	Goldenrod	U
Salix commutata	Tea-leaved Willow	H	Arnica latifolia	-		Stenanthium occidentale	Bronze Bells	P
Salix drummondiana	Blueberry Willow	H	Aster conspicuus	Showy Aster	M-H	Streptopus amplexifolius	Twisted Stalk	P
Salix farrae	-		Aster subspicatus	Leafy Aster	M-H	Thalictrum occidentale	Western Meadow Rue	M
Salix glauca	Grey-leaved Willow	H	Aster ciliolatus	Lindley's Aster	M-H	Trollius albiflorus	Globe-flower	
Salix scouleriana	Scouler's Willow	H	Astragalus alpinus	-		Valeriana sitchensis	Valerian	*
Salix vestita	Rock Willow		Caltha leptosepala	Mountain Marigold		Veronica alpina	-	
Shepherdia canadensis	Buffalo-berry	L***	Campanula rotundifolia	Harebell		Viola orbiculata	Evergreen Violet	
Sorbus scopulina	Western Mountain Ash		Castilleja miniata	Indian Paintbrush	P	Zygadenus elegans	White Camas	H
Spiraea betulifolia	Birch-leaved Spiraea	L	Cornus canadensis	Bunchberry	L			
Spiraea lucida	White Meadowsweet		Crepis nana	-		Palatability Rating for Elk		
Symphoricarpos occidentalis	Buckbrush	L	Disporum trachycarpum	Fairy Bells		L	= low	
Vaccinium caespitosum	Dwarf Bilberry	L**	Epilobium alpinum	-		M	= moderate	
Vaccinium membranaceum	Tall Bilberry	L***	Epilobium angustifolium	Tall Fireweed	P**	H	= high	
Vaccinium myrtilloides	Low Bilberry	L***	Epilobium ciliatum	Purple-leaved Fireweed	P	P	= generally thought to be palatable	
Vaccinium scoparium	Grouseberry	L***	Epilobium latifolium	Broad-leaved Fireweed	P	U	= generally thought to be unpalatable	
Viburnum edule	Low Bush Cranberry	M	Equisetum arvense	Common Horsetail	U****			
			Equisetum variegatum	Northern Scouring Rush	U	*	= known bear food	
						* to ****	= degree of importance to bears	



